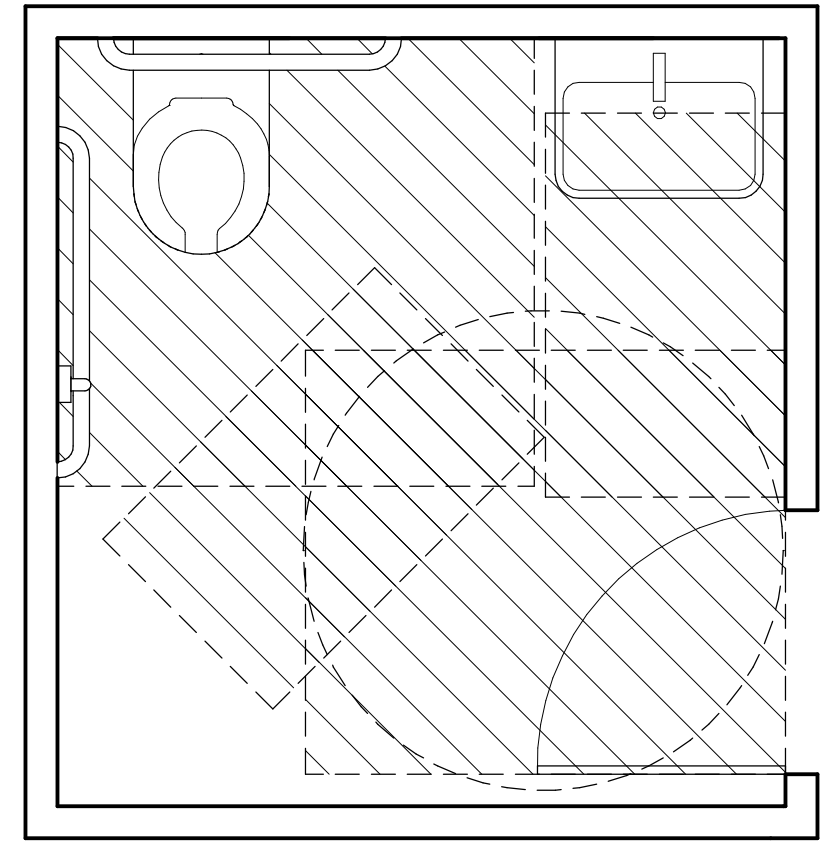


4 ACCESSIBLE WATER COOLERS AND DRINKING FOUNTAINS  
1/2" = 1'-0"

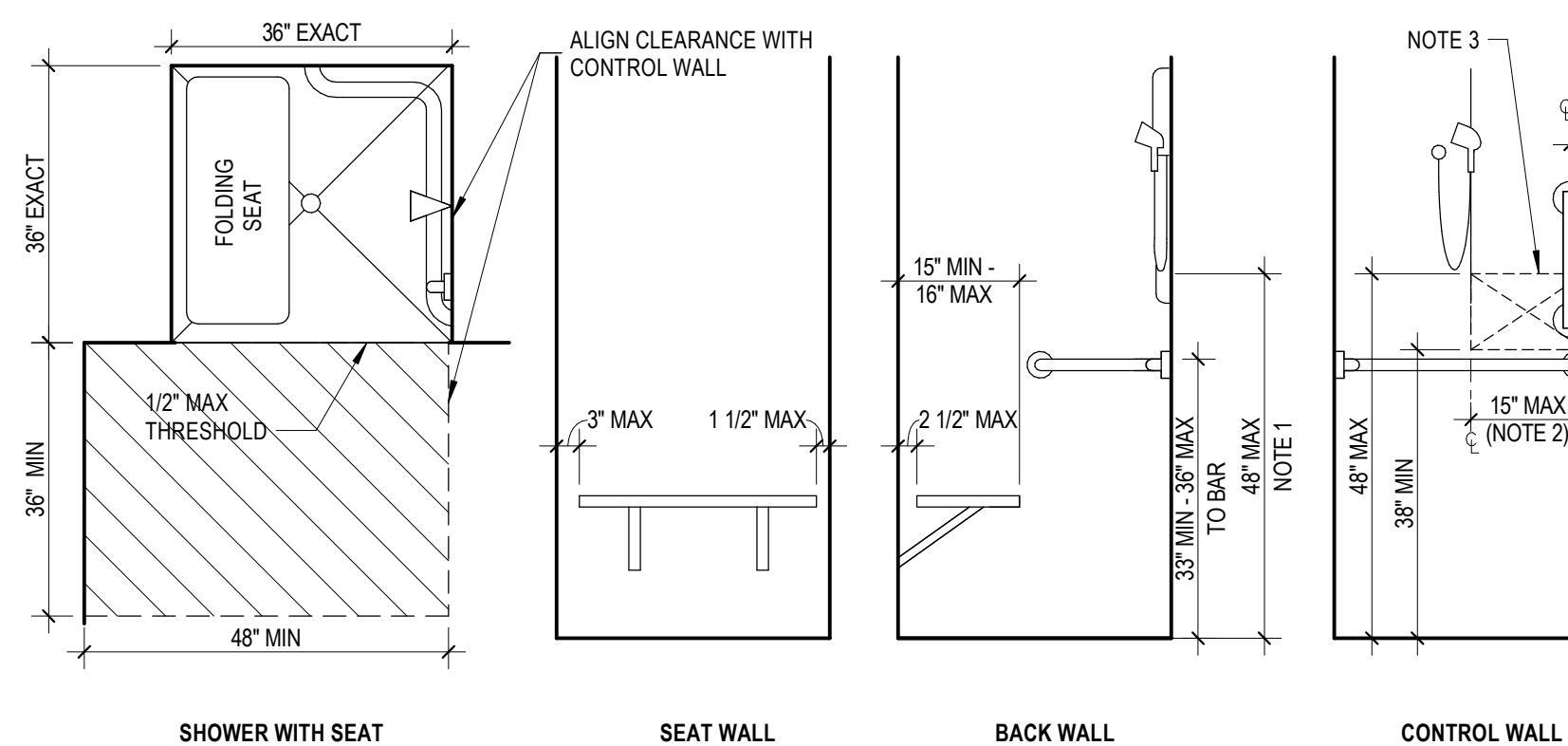
WATER CLOSET NOTES:  
1. DOOR MAY SWING THROUGH THE TURNING SPACE AND FIXTURE CLEAR SPACE WHEN 30"x48" CLEAR FLOOR SPACE IS PROVIDED CLEAR OF DOOR SWING AND RESTROOM IS FOR INDIVIDUAL USE.  
2. ADJACENT FIXTURES CANNOT ENCRONCH ON CLEAR FLOOR SPACE.



6 WATER CLOSET  
1/2" = 1'-0"

TRANSFER SHOWERS NOTES:

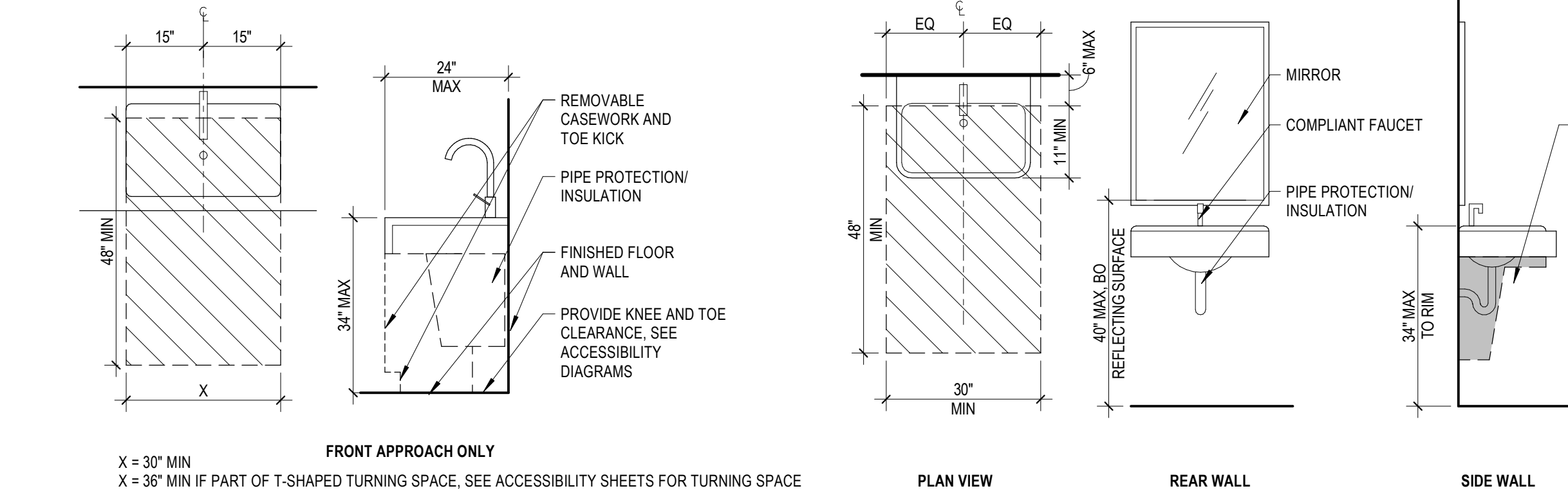
1. PROVIDE COMPLIANT SHOWER SPRAY UNIT WITH VERTICAL BAR. THE HAND SHOWER POSITIONED AT THE LOWEST POINT ON THE SLIDE BAR SHALL BE WITHIN REACH RANGE.
2. CONTROL AND HAND SHOWER TO BE LOCATED 15" MAX FROM THE CENTERLINE OF THE CONTROL WALL TOWARD THE SHOWER OPENING.
3. LOCATE CONTROL AND HAND SHOWER ON THE SIDE WALL OPPOSITE THE SEAT.



7 TRANSFER SHOWERS  
1/2" = 1'-0"

STANDARD ROLL-IN SHOWER NOTES:

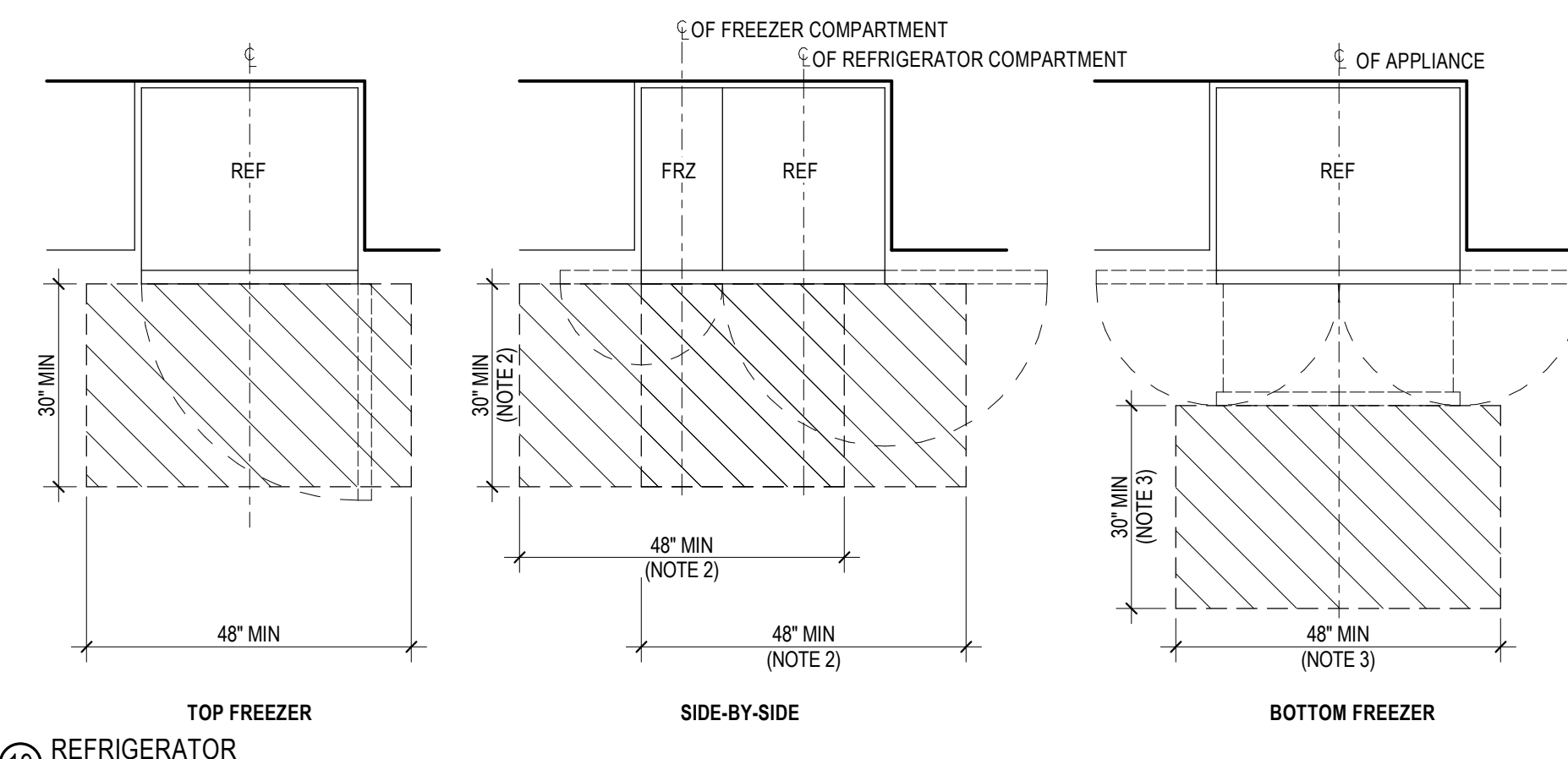
1. PROVIDE COMPLIANT SHOWER SPRAY UNIT WITH VERTICAL BAR. THE HAND SHOWER POSITIONED AT THE LOWEST POINT ON THE SLIDE BAR SHALL BE WITHIN REACH RANGE.
2. LAVATORY ALLOWED IN CLEARANCE, PROVIDED IT IS NOT ON THE SIDE OF THE CLEARANCE ADJACENT TO THE CONTROLS, OR, NOT ON THE SIDE OF THE CLEARANCE ADJACENT TO THE SHOWER SEAT.
3. LOCATE CONTROL AND HAND SHOWER ON BACK WALL ADJACENT TO SEAT.



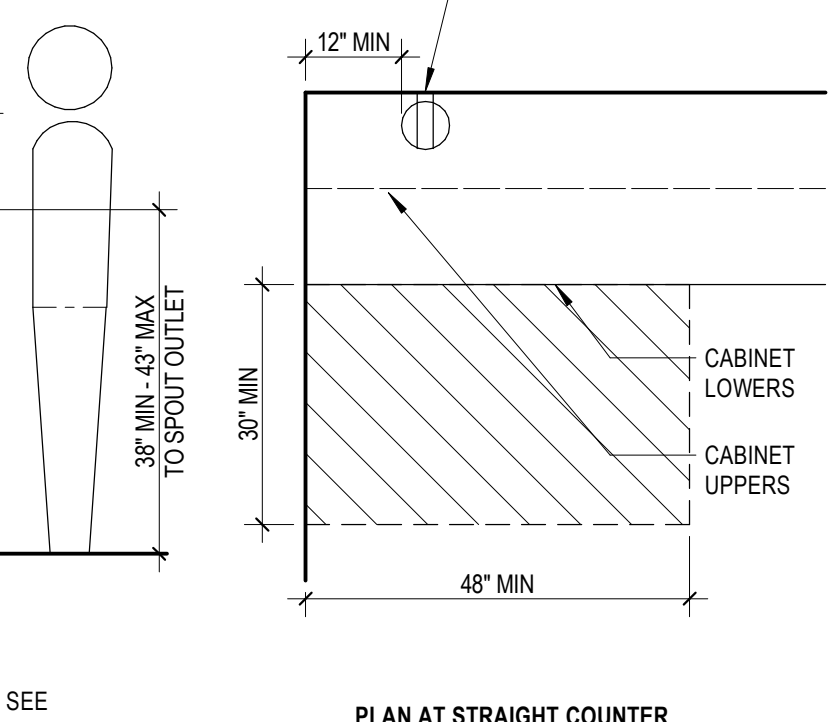
8 KITCHEN SINK  
1/2" = 1'-0"

REFRIGERATOR NOTES:

1. 50% OF FREEZER SPACE SHALL BE 54" MAX AFF AT PUBLIC AREAS.
2. SIDE-BY-SIDE REFRIGERATORS REQUIRE A CLEAR FLOOR SPACE FOR EACH DOOR.
3. BOTTOM FREEZER REFRIGERATORS REQUIRE A CLEAR FLOOR SPACE WITH THE FREEZER DOOR/DRAWER FULLY OPEN.



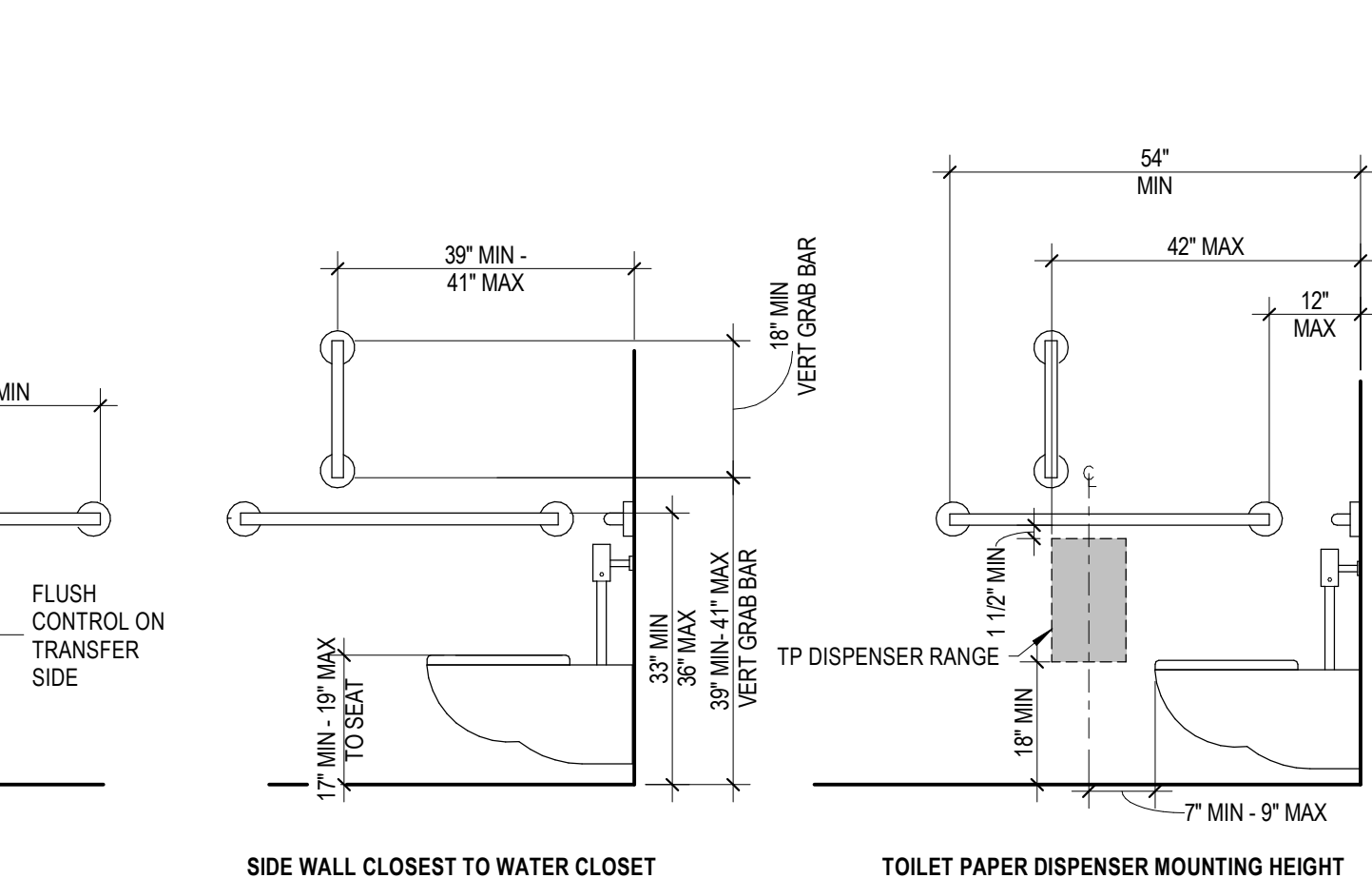
9 REFRIGERATOR  
1/2" = 1'-0"



11 OUTLETS/SWITCHES OVER CABINETS  
1/2" = 1'-0"

TOILET COMPARTMENT NOTES:

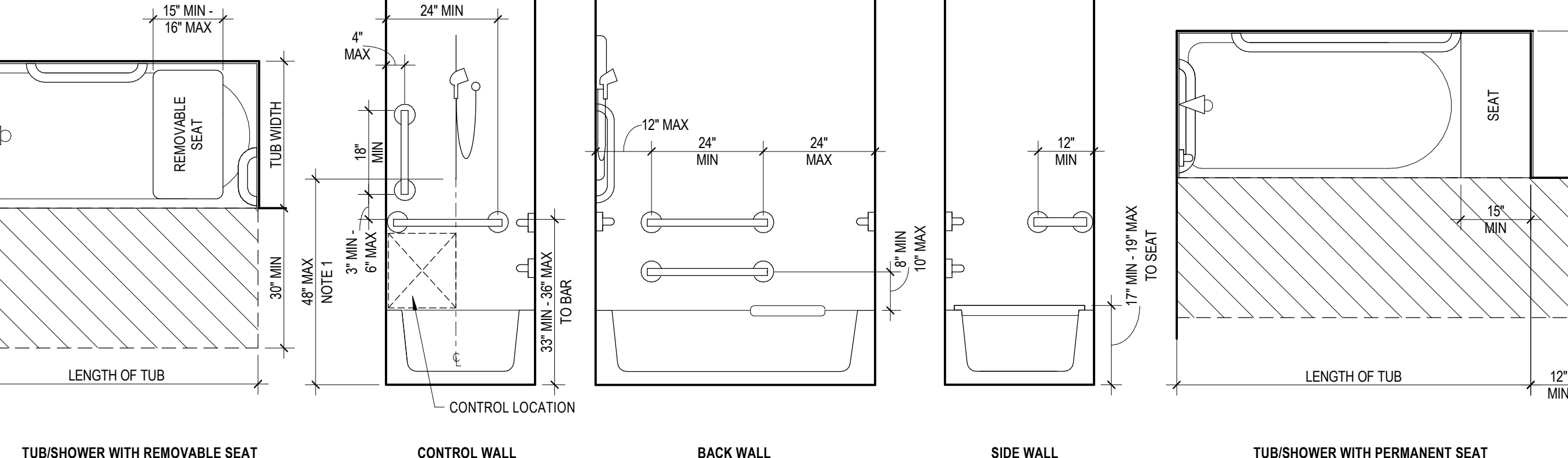
1. PROVIDE TOE CLEARANCE 6" AFF AT FRONT AND AT LEAST ONE SIDE PARTITION.
2. DOOR SHALL BE SELF CLOSING, WITH A COMPLIANT DOOR PULL ON BOTH SIDES OF THE DOOR NEAR THE LATCH.
3. SEE WATER CLOSET DIAGRAM FOR GRAB BAR LOCATIONS AND TOILET PAPER DISPENSER MOUNTING HEIGHTS.



12 TOILET COMPARTMENT  
1/2" = 1'-0"

TUB/SHOWER NOTES:

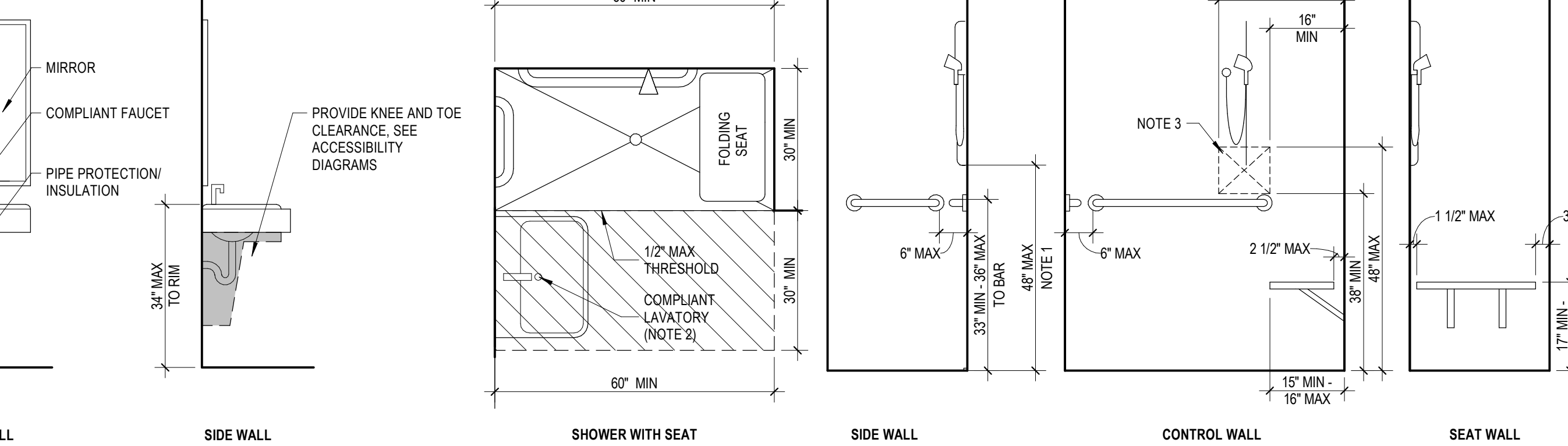
1. PROVIDE COMPLIANT SHOWER SPRAY UNIT WITH VERTICAL BAR. THE HAND SHOWER POSITIONED AT THE LOWEST POINT ON THE SLIDE BAR SHALL BE WITHIN REACH RANGE.



13 DISHWASHER  
1/2" = 1'-0"

RANGE/COOKTOP AND WORKSURFACE NOTES:

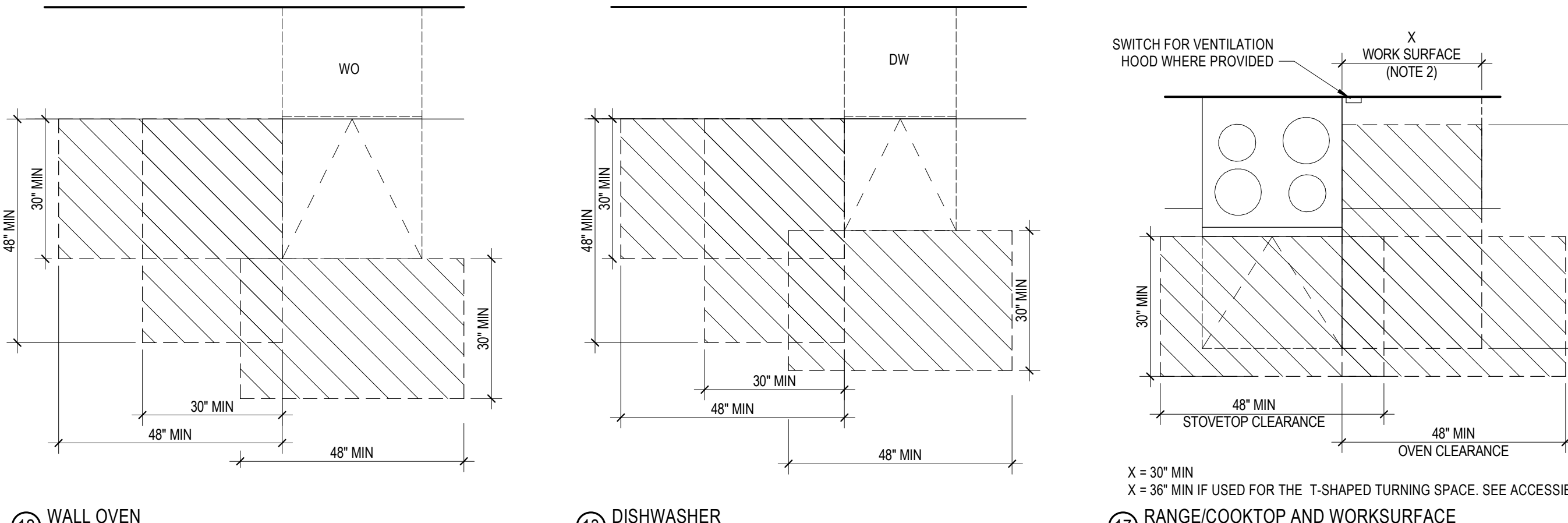
1. OVEN DOOR IN OPEN POSITION SHALL NOT OBSTRUCT THE CLEAR FLOOR SPACE.
2. BOTTOM HINGED DOOR OVENS SHALL HAVE A WORK SURFACE POSITIONED ADJACENT TO ONE SIDE OF THE DOOR.



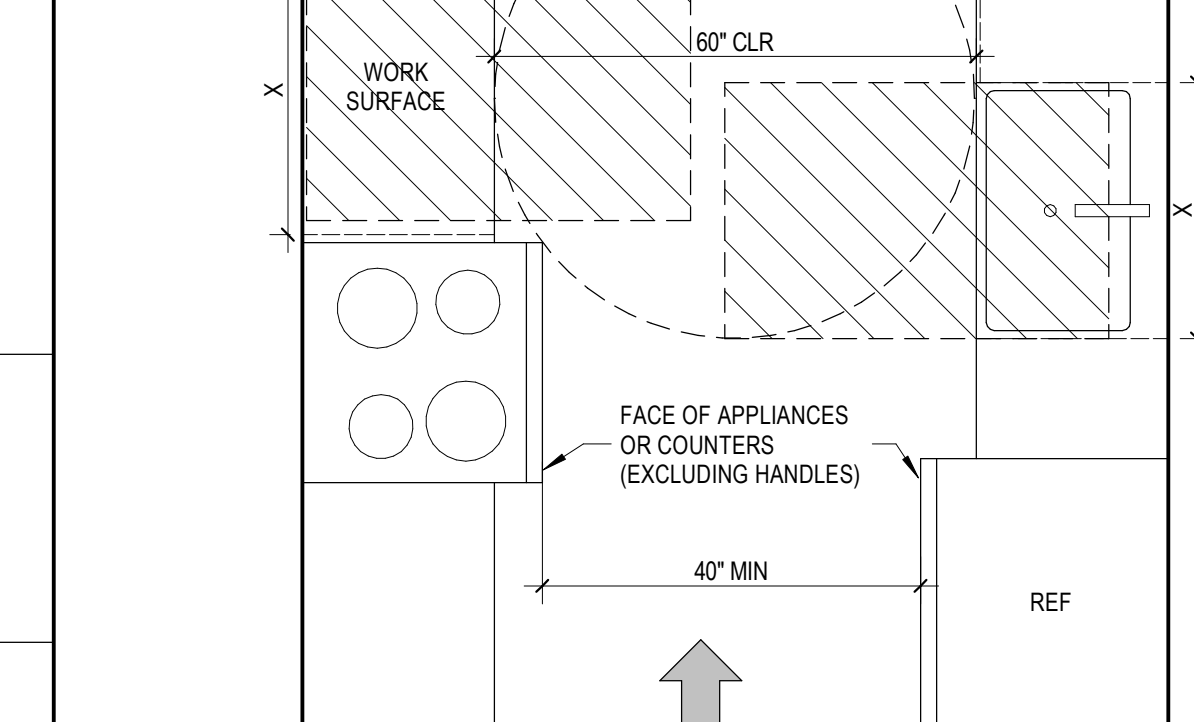
14 U-SHAPED KITCHEN  
1/2" = 1'-0"

PASS THROUGH KITCHEN NOTES:

1. PROVIDE COMPLIANT SHOWER SPRAY UNIT WITH VERTICAL BAR. THE HAND SHOWER POSITIONED AT THE LOWEST POINT ON THE SLIDE BAR SHALL BE WITHIN REACH RANGE.
2. LOCATE CONTROL AND HAND SHOWER ON SIDE WALL ADJACENT TO SEAT.



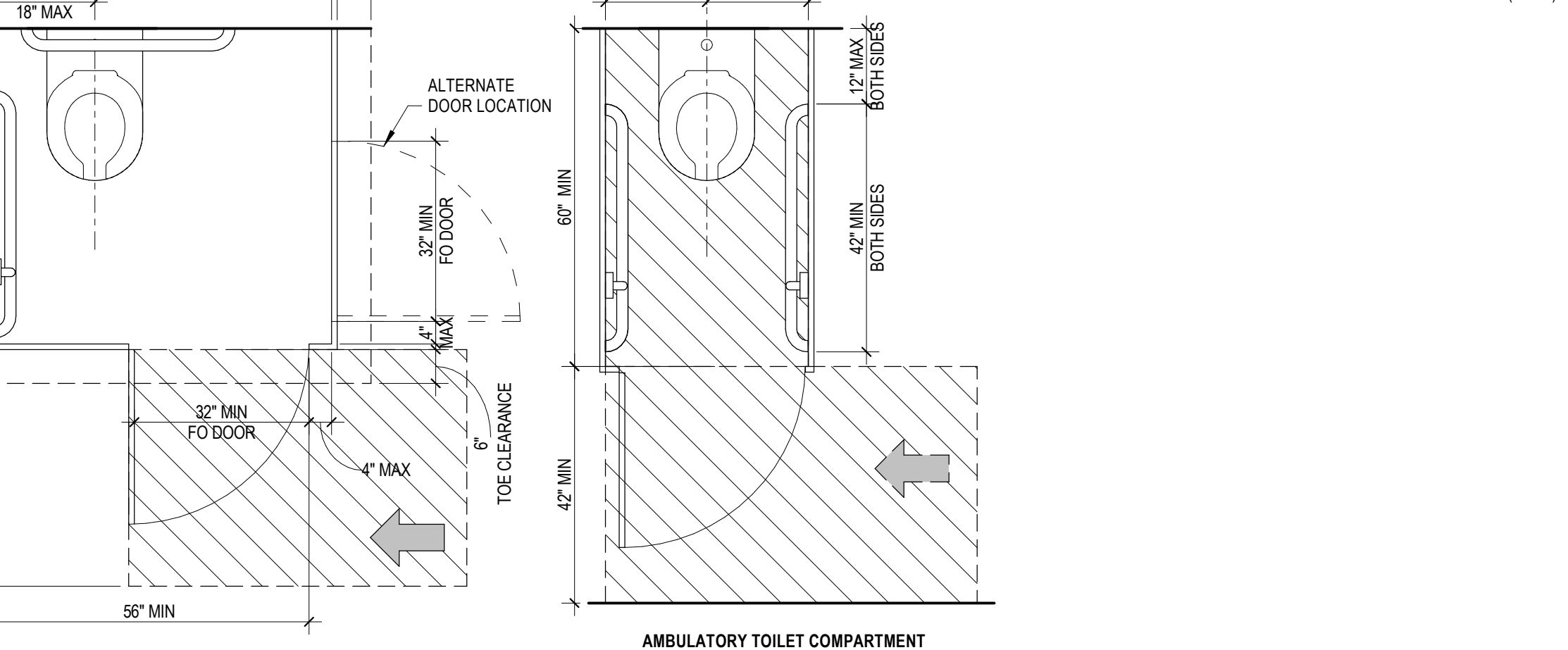
15 PASS THROUGH KITCHEN  
1/2" = 1'-0"



16 WASHER AND DRYER  
1/2" = 1'-0"

TOILET COMPARTMENT NOTES:

1. PROVIDE COMPLIANT SHOWER SPRAY UNIT WITH VERTICAL BAR. THE HAND SHOWER POSITIONED AT THE LOWEST POINT ON THE SLIDE BAR SHALL BE WITHIN REACH RANGE.
2. LOCATE CONTROL AND HAND SHOWER ON SIDE WALL ADJACENT TO SEAT.



17 RANGE/COOKTOP AND WORKSURFACE  
1/2" = 1'-0"

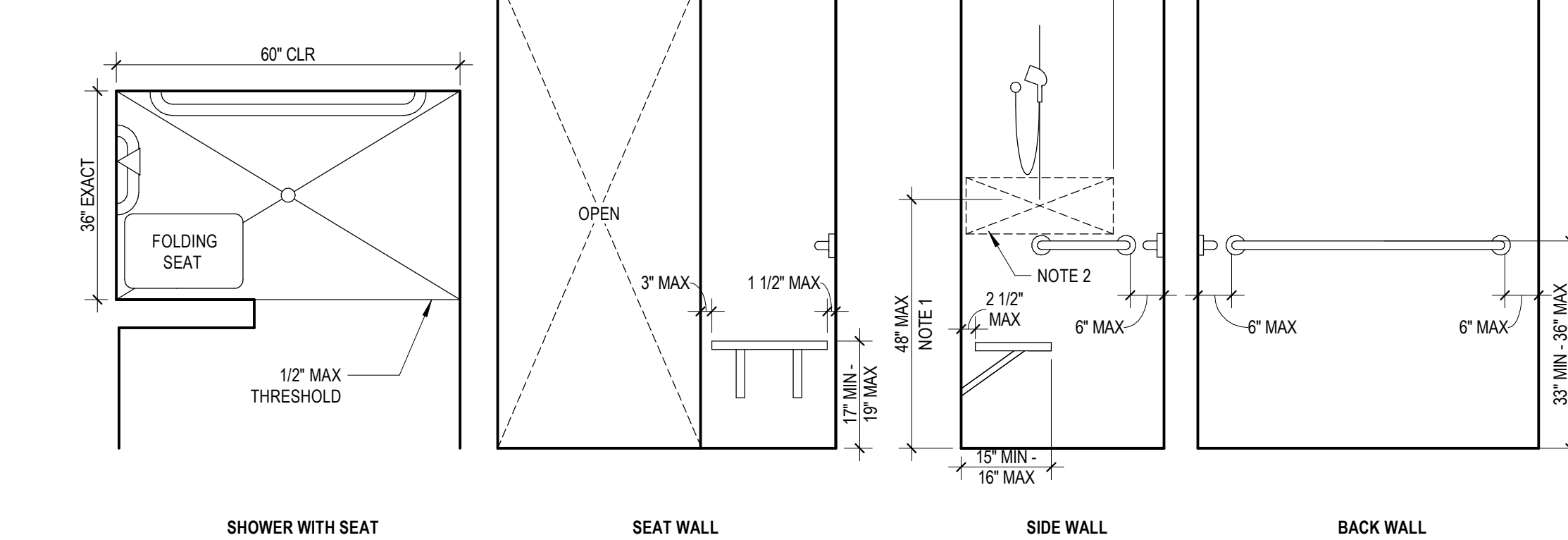
GENERAL NOTES:

1. ALL AREAS TO COMPLY WITH AMERICANS WITH DISABILITIES ACT AND SECTIONS OF CODE(S) REFERENCED IN THIS DRAWING SET.
2. UNLESS NOTED OTHERWISE, ALL DIMENSIONS ON THIS SHEET ARE MEASURED FROM FACE OF FINISH. CLEAR DIMENSIONS SHOULD BE MEASURED FROM FACE OF BASE BOARDS, CHAIR RAILS, WAINSCOT, ETC. DIMENSIONS NOT ON THIS SHEET MAY BE MEASURED DIFFERENTLY.
3. VERIFY COMPONENT DIMENSIONS AND LEVELING REQUIREMENTS ARE WITHIN ALLOWABLE DIMENSIONS.
4. DIMENSIONS AND CONFIGURATIONS SHOWN ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS AND CONFIGURATIONS MAY VARY. MINIMUMS AND MAXIMUMS INDICATED IN THE DOCUMENTS MAY BE MORE STRINGENT THAN THOSE DIMENSIONS INDICATED ON THIS SHEET. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DIMENSIONS THAT DO NOT MEET OR EXCEED THE GUIDELINES ON THIS SHEET.
5. VERIFY CLEARANCES WITH MANUFACTURER'S PRODUCT SIZES AND REQUIREMENTS TO ENSURE ACCESSIBLE CLEARANCES ARE MET.
6. PROVIDE BACKING AS INDICATED FOR INSTALLED OR FUTURE GRAB BARS. GRAB BARS SHALL WITHSTAND MINIMUM 250 LBS OF FORCE. SEE SPECIFICATIONS.
7. COMMON USE AREAS THAT ARE LEASABLE OR AVAILABLE TO THE PUBLIC AT LARGE (RATHER THAN SOLELY FOR THE USE OF RESIDENTS AND THEIR GUESTS) MUST COMPLY WITH ADA 2010.
8. BUILDINGS WITH FEDERAL ASSISTANCE MUST COMPLY WITH ADA AND SECTION 504 OF HUD WHICH REQUIRES COMPLIANCE WITH UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS).

18 URINAL  
1/2" = 1'-0"

ALTERNATE ROLL-IN SHOWER NOTES:

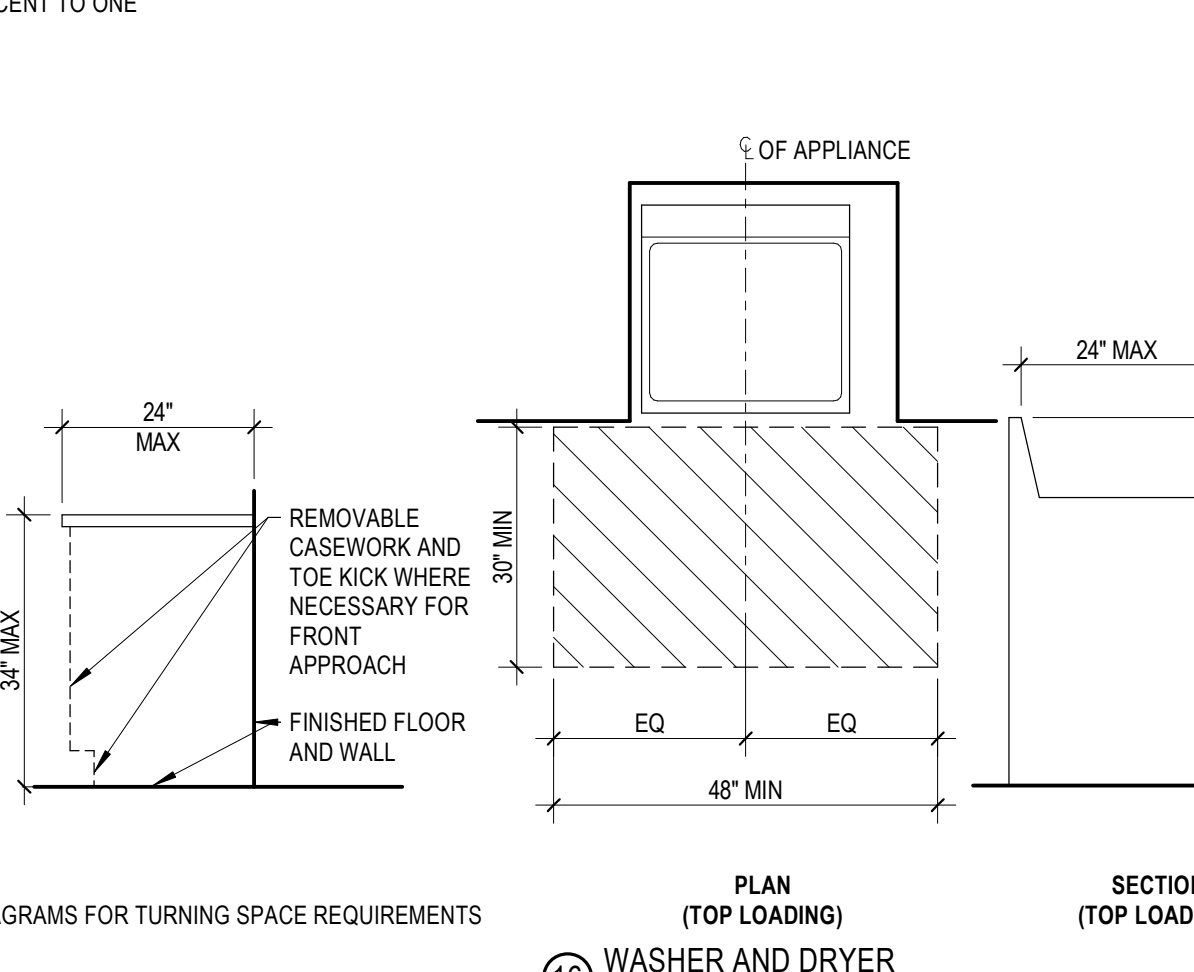
1. PROVIDE COMPLIANT SHOWER SPRAY UNIT WITH VERTICAL BAR. THE HAND SHOWER POSITIONED AT THE LOWEST POINT ON THE SLIDE BAR SHALL BE WITHIN REACH RANGE.
2. LOCATE CONTROL AND HAND SHOWER ON SIDE WALL ADJACENT TO SEAT.



19 REFRIGERATOR  
1/2" = 1'-0"

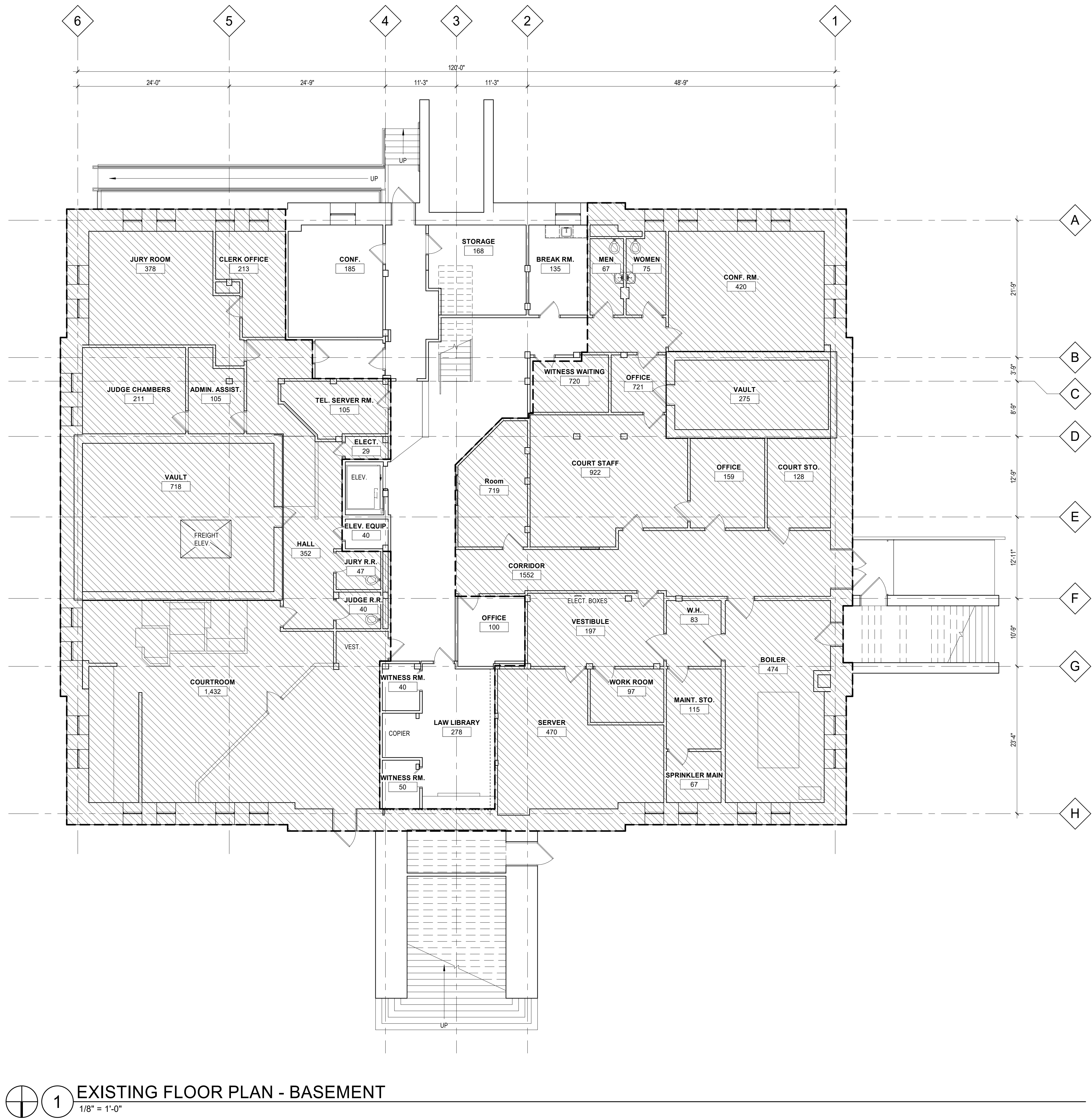
WALL OVEN NOTE:

1. FRONT OR PARALLEL APPROACH MUST BE CLEAR OF OVEN DOOR.



20 WALL OVEN  
1/2" = 1'-0"

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1 EXISTING FLOOR PLAN - BASEMENT  
1/8" = 1'-0"

GENERAL NOTES - EXISTING FLOOR PLAN

- A. EXISTING PLAN KEYED NOTES APPLY TO AE101 SERIES SHEETS. KEYED NOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO OTHER SHEETS EXCEPT THOSE NOTED.
- B. ALL DIMENSIONS ARE FOR REFERENCE ONLY AND SHOULD BE FIELD VERIFIED.

LEGEND - EXISTING PLAN

N.I.C. AREAS



ARCHITECTURE  
URBAN DESIGN + PLANNING  
INTERIOR DESIGN

PORTLAND OAKLAND  
SERADESIGN.COM



Clatsop County Circuit Court Security Improvements

Clatsop County  
749 Commercial St.  
Astoria, OR 97103

REVISIONS

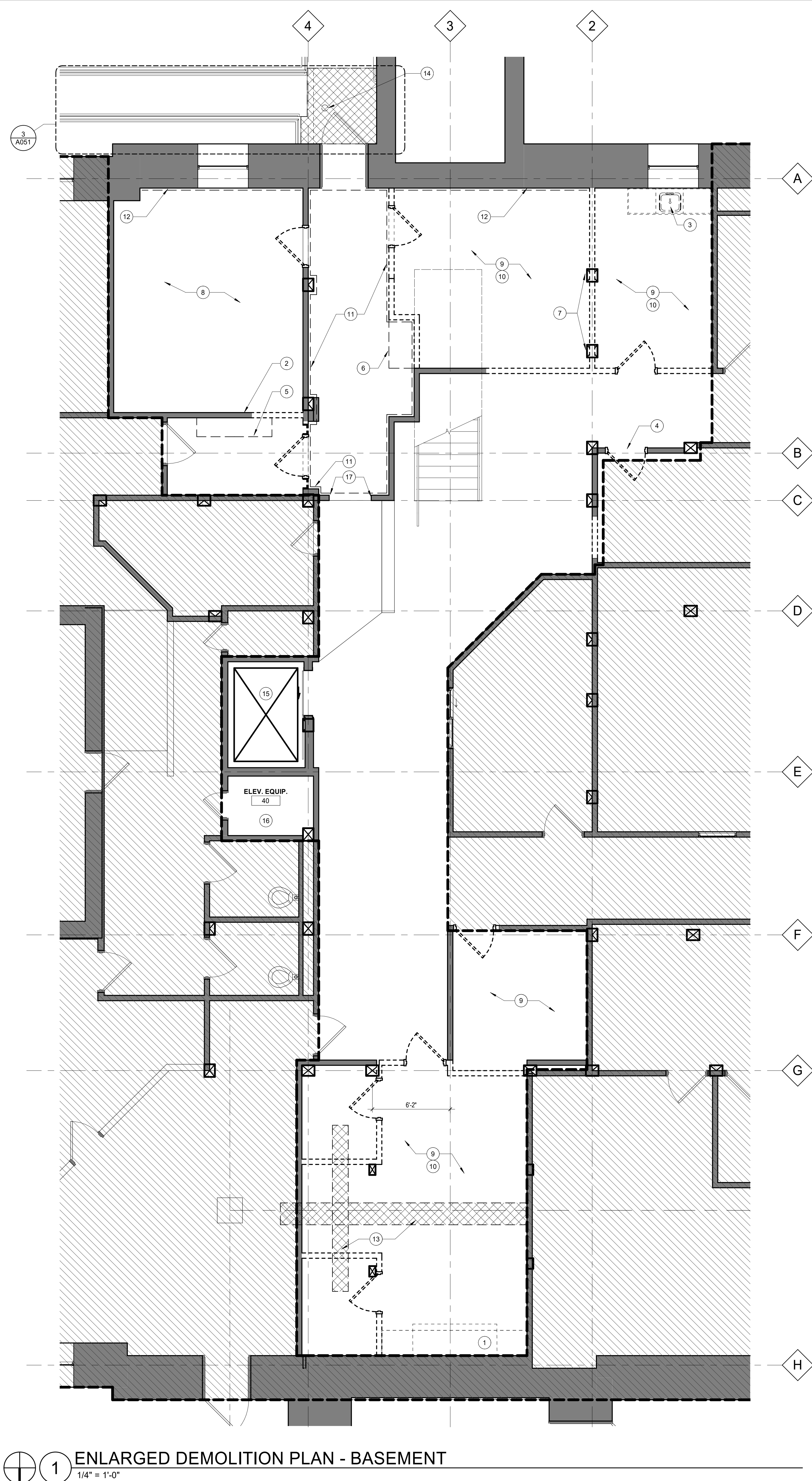
CHECKED BY: SE/PS  
ISSUE DATE: 28 JUNE 2023  
PROJECT NO: 2101028-2

EXISTING FLOOR  
PLAN -  
BASEMENT

AE100

BID SET

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- GENERAL NOTES - DEMOLITION PLAN**
- A. DEMOLITION PLAN KEYED NOTES APPLY TO SHEETS AD100 SERIES. KEYED NOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO OTHER SHEETS EXCEPT THOSE NOTED.
  - B. COORDINATE SELECTIVE DEMOLITION WITH OWNER AND ARCHITECT WHERE REQUIRED.
  - C. PRIMARY AND SECONDARY STRUCTURAL ELEMENTS, AND THEIR RELATED FIRE PROTECTION WHERE OCCURS, ARE TO REMAIN, UNO. IN THE EVENT THAT EXISTING DAMAGE IS DISCOVERED, OR NEW DAMAGE IS CAUSED BY DEMOLITION ACTIVITY NOTIFY ARCHITECT AND OWNER IMMEDIATELY.
  - D. ALL HISTORIC DOORS, TRIM, WINDOW COMPONENTS, WALL BASE, AND OTHER FINISHES NOTED FOR DEMOLITION SHALL BE SALVAGED AND DELIVERED TO OWNER. CONTRACTOR SHALL USE NECESSARY CARE TO PRESERVE THE INTEGRITY OF SALVAGED HISTORIC ELEMENTS AND FINISHES FOR FUTURE USE.
  - E. REVIEW HISTORIC PROCEDURES SPEC FOR DEFINITIONS AND UPDATE GENERAL AND KEYED NOTES TO CONFORM.
- KEYED NOTES - ENLARGED DEMOLITION PLAN**
- 1 REMOVE EXISTING POURED-IN-PLACE RAMP AS REQUIRED TO INSTALL CONCRETE SUBFLOOR FLUSH TO THE EXISTING ADJACENT SURFACE.
  - 2 RELOCATE (E) ELECTRICAL OUTLETS TO CENTERLINE OF ROOM. MAINTAIN (E) HEIGHT.
  - 3 REMOVE EXISTING PLUMBING FIXTURE. CAP ALL UTILITIES IN WALL OR FLOOR AS APPROPRIATE.
  - 4 RELOCATE EXISTING DOOR, FRAME, AND HARDWARE TO EAST SIDE OF ROOM.
  - 5 REMOVE AND REINSTALL GUN LOCKERS. SEE FLOOR PLAN FOR NEW LOCATION. COORDINATE REMOVAL AND SAFING OF ALL FIREARMS WITH OWNER.
  - 6 REMOVE PORTION OF SOFFIT ABOVE. ALIGN EXTENTS OF SOFFIT DEMOLITION WITH WALL DEMOLITION.
  - 7 PROTECT EXISTING GYPSUM FINISH ON COLUMNS.
  - 8 PROTECT EXISTING FLOOR AND CEILING FINISHES.
  - 9 REMOVE EXISTING FLOOR FINISH.
  - 10 REMOVE EXISTING CEILING FINISH.
  - 11 SALVAGE EXISTING CROWN MOLDING AND DELIVER TO OWNER.
  - 12 REMOVE INTERIOR WALL BOARD, FRAMING, AND INSULATION. ALL EXISTING MASONRY TO REMAIN. NOTIFY OWNER AND ARCHITECT OF CONDITION OF EXISTING MASONRY WALL.
  - 13 DEMOLISH EXISTING SLABS NEEDED FOR NEW PLUMBING CONNECTIONS TO EXISTING WASTE LINES. SEE PLUMBING DRAWINGS.
  - 14 REMOVE EXISTING LOWER LANDING, DRAIN, AND CLEANOUT. PREPARE PIPING TO RECEIVE NEW DRAIN AND CLEANOUT.
  - 15 REMOVE ELEVATOR CAB FINISHES IN COORDINATION WITH ELEVATOR MODERNIZATION WORK. SEE 14 24 00.
  - 16 WALL AND/OR CEILING DEMOLITION IN ELEVATOR EQUIPMENT ROOM ONLY AS REQUIRED FOR INSTALLATION OF NEW MECHANICAL LINES AND EQUIPMENT.
  - 17 REMOVE EXISTING WOOD CASING AT EXISTING OPENING.
- LEGEND - DEMOLITION PLAN**
- SEE A001 FOR ADDITIONAL ARCHITECTURAL SYMBOL CONVENTIONS
- EXISTING DOOR TO BE REMOVED  
SEE GENERAL NOTES THIS PAGE FOR ADDITIONAL INFORMATION
  - EXISTING TO BE REMOVED
  - EXISTING SLAB TO BE REMOVED
  - N.I.C. AREAS

SERA

ARCHITECTURE  
URBAN DESIGN + PLANNING  
INTERIOR DESIGN

PORTLAND | OAKLAND  
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REGISTERED ARCHITECT  
SERGE B. WOOD, JR.  
VIRGINIA | OREGON  
5193

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REVISIONS
















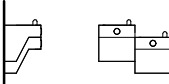

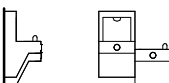



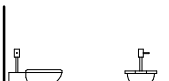

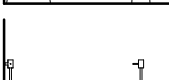



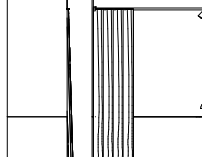

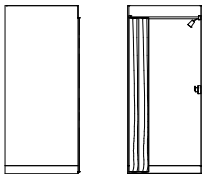


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ISSUE DATE: 28 JUNE 2023  
PROJECT NO: 2101028-2

DEMOLITION  
PLAN -  
BASEMENT  
AD100














BID SET



## LEGEND - PLUMBING FIXTURE SYMBOLS

PLAN	ELEVATION	DESCRIPTION
		LAVATORY, UNDERCOUNTER MOUNTED
		LAVATORY, OVERCOUNTER MOUNTED
		LAVATORY, WALL MOUNTED
		SINK, UNDERCOUNTER MOUNTED
		SINK, OVERCOUNTER MOUNTED
		SERVICE SINK, WALL MOUNTED
		MOP SINK
		DRINKING FOUNTAIN, DOUBLE
		DRINKING FOUNTAIN, DOUBLE WITH BOTTLE FILLER
		WATER CLOSET, FLOOR MOUNTED
		WATER CLOSET, TANKLESS, FLOOR MOUNTED
		WATER CLOSET, WALL MOUNTED
		URINAL, WALL MOUNTED
		TUB/SHOWER
		SHOWER
		FLOOR DRAIN
		FLOOR SINK

LEGEND - ELECTRICAL FIXTURE

PLAN	ELEVATION	DESCRIPTION
		OUTLET - DUPLEX
		OUTLET - DUPLEX - GFI
		OUTLET - QUAD
		OUTLET - QUAD - GFI
		PHONE
		DATA
		OUTLET - TV
		SWITCH
		3 WAY SWITCH
		4 WAY SWITCH
		J BOX
		ALARM STROBE
		DOORBELL
		SMOKE DETECTOR
		THERMOSTAT
		ALARM HORN AND STROBE
		OUTLET - DUPLEX - FLOOR
		OUTLET - QUAD - FLOOR
		J BOX - FLOOR
		OUTLET - DATA - FLOOR
		OUTLET - PHONE - FLOOR

## FINISH AND MATERIAL CODES

ACT-#	SUSPENDED ACOUSTICAL CEILING
AWC-#	ACOUSTICAL WALL OR CEILING SYSTEM
BR-#	BRICK
CHW-#	CABINET HARDWARE
CMU-#	CONCRETE MASONRY UNIT
CONC-#	CONCRETE
CORK-#	CORK
CP-1	CARPET
CTP-#	COUNTERTOP
E-#	EPOXY PAINT
F-#	FABRIC
FAP-#	FLOOR-APPLIED FLOORING
FCP-#	FIBER CEMENT PANEL
FCS-#	FIBER CEMENT SIDING
FRR-#	FIBERGLASS REINFORCED PLASTIC PANELING
GL-#	GLAZING
GLF-#	GLAZING FILM
HPC-#	HIGH-PERFORMANCE COATING
MIR-#	MIRROR
MTL-#	METAL
MTL-#	METAL BASE
MTL-C-#	METAL CEILING
MTL-P-#	METAL PANELING
P-#	PAINT
PL-#	PLASTIC LAMINATE
PLF-#	RESILIENT ATHLETIC FLOORING
RB-#	RESILIENT BASE
RF-#	RESILIENT FLOORING
SS-#	STAINLESS STEEL
SSF-#	SMULATED STONE FABRICATIONS
ST-#	STONE CLADDING
STN-#	STAIN
T-#	TILE
TF-#	THERMOFOLD
TZ-#	TERRAZZO
VDB-#	VISUAL DISPLAY BOARD
VPL-#	VENEER
WCV-#	WALL COVERING
WDB-#	WOOD
WDB-#	WOOD BASE
WDC-#	WOOD CEILING
WDF-#	WOOD FLOORING
WDP-#	WOOD PANELING
WSD-#	WOOD SIDING
WTF-#	WALK OFF MAT
WVP-#	WALL PROTECTION
WT-#	WINDOW TREATMENT

## LEGEND - MATERIAL SYMBOLS

	ACOUSTIC CEILING TILE		MORTAR OR GROUT
	ALUMINUM		PLASTER OR STUCCO
	BRICK		PLASTIC
	CARPET		PLYWOOD
	CONCRETE MASONRY		SAND
	CONCRETE		SHAFT WALL
	PRECAST CONCRETE		SHINGLE
	EARTH FILL		STEEL
	EARTH UNDISTURBED FILL		STONE
	FIREPROOFING		TILE
	GYPSUM BOARD		WOOD
	GLULAM WOOD		WOOD FRAMING
	GRASS		WOOD BLOCKING
	GRAVEL		EXISTING
	INSULATION - FOAM BOARD		NOT IN CONTRACT WORK LIMIT LINE

## LEGEND - CONVENTIONS AND SYMBOLS

**DRAWING TITLE**  
DRAWING IDENTIFICATION

**View Name**  
1/8" = 1'-0"

**DRAWING SCALE**  
DRAWING NUMBER

**PROJECT NORTH**  
**NORTH ARROW**  
SEE CIVIL FOR TRUE NORTH

**PROJECT GRID/COLUMN LINE**

**PROJECT GRID/COLUMN LINE (E)**

**LEVEL INFORMATION**  
LEVEL 1  
134'-0"

**ELEVATION NUMBER**  
**EXTERIOR ELEVATION**  
SHEET NUMBER

**ELEVATION NUMBER**  
**INTERIOR ELEVATION**  
SHEET NUMBER

**DETAIL NUMBER**  
**DETAIL CALLOUT**  
SHEET NUMBER

**SECTION NUMBER**  
**BUILDING SECTION**  
SHEET NUMBER

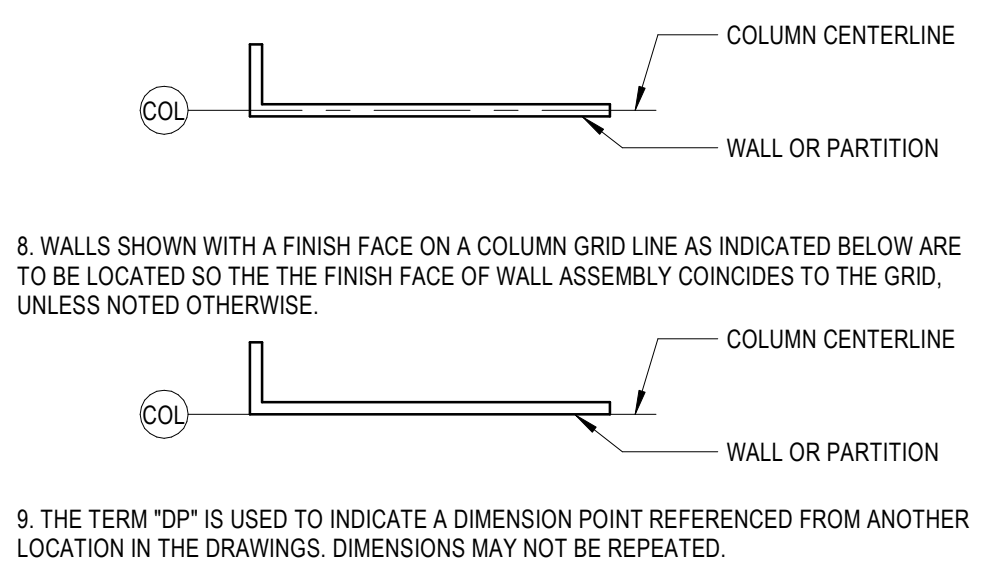
**SECTION NUMBER**  
**WALL OR PARTIAL SECTION**  
SHEET NUMBER

**WALL (E)**  
**WALL**  
**WALL (TEMPORARY)**  
**PROPERTY LINE**  
**WORK LIMIT LINE**  
**PLAN NUMBER**  
**MATCHLINE**  
**UNIT**  
**ROOM TAG**  
**ROOM NUMBER**  
**ASSEMBLY TYPE - REFER TO ASSEMBLIES**  
**ASSEMBLY TAG**  
**DOOR (E)**  
**DOOR NUMBER - REFER TO DOOR SCHEDULE**  
**DOOR**

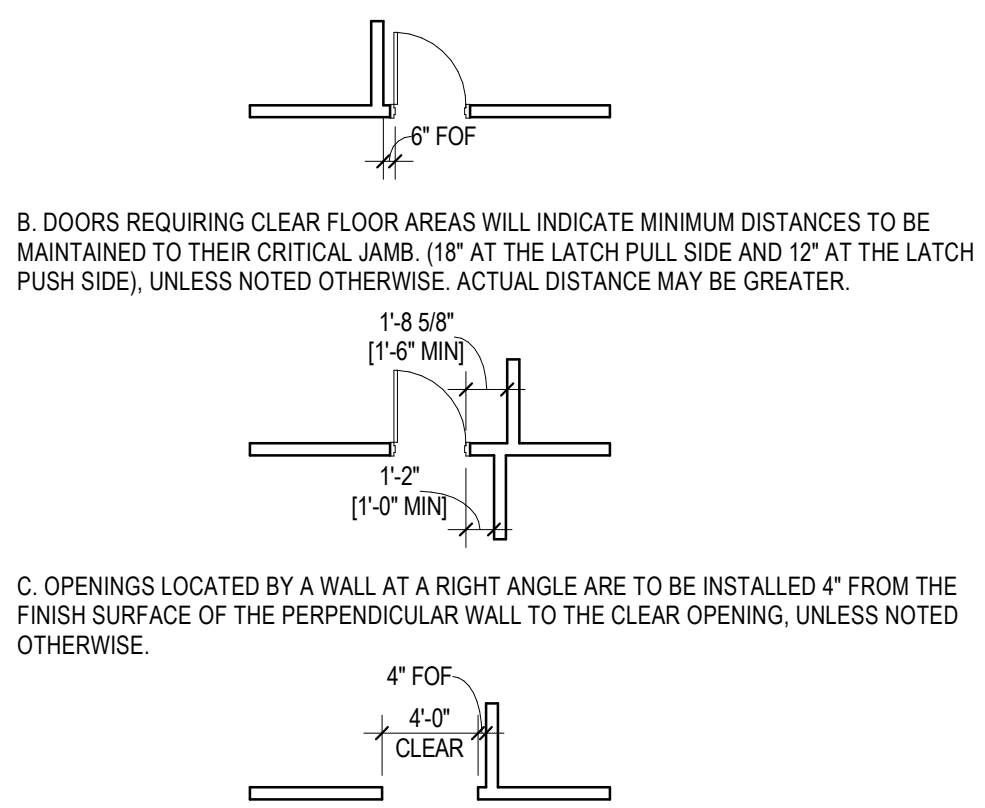
**KEYED NOTE**  
**HANDRAIL/GUARD TAG**  
**WINDOW TYPE - REFER TO WINDOW SCHEDULE**  
**WINDOW TAG**  
**OPPOSITE HAND WHERE OCCURS**  
**WINDOW MARK**  
**GLAZING TAG**  
**GLAZING TYPE TAG**  
**REFER TO SCHEDULE OF FINISHES**  
**GLASS SYMBOL**  
**LOUVER TAG**  
**FINISH TAG**  
**MATERIAL DESIGNATION**  
**REFER TO SCHEDULE OF FINISHES**  
**FURNITURE TAG**  
**FURNITURE DESIGNATION**  
**REFER TO FURNITURE SCHEDULE**  
**QUANTITY IF GREATER THAN ONE**  
**EQUIPMENT TAG**  
**EQUIPMENT DESIGNATION**  
**REFER TO EQUIPMENT SCHEDULE**  
**SURFACE SLOPE TAG**  
**1/2" / 12" SLOPE**  
**RIDGE**  
**VALLEY**  
**SLOPE DOWN**  
**SLOPE UP**  
**STEP IN PLANE**  
**SPOT ELEVATION (E)**  
**SPOT ELEVATION**  
**SPOT ELEVATION - SURVEY**  
**REVISION NUMBER**  
**DRAWING REVISION**  
**REVISION CLOUD**

### DIMENSIONING NOTES

1. DO NOT SCALE DRAWINGS FOR ELEMENT SIZES OR LOCATIONS. DIMENSIONS ARE INDICATED IN THE DRAWINGS.
2. INTERIOR WALLS ARE DIMENSIONED TO FACE OF STUD, UNLESS NOTED OTHERWISE.
3. EXTERIOR WALLS ARE DIMENSIONED TO FACE OF EXTERIOR SHEATHING AND/OR CLADDING, UNLESS NOTED OTHERWISE.
4. DIMENSIONS MEASURED FROM AN EXISTING WALL ARE MEASURED FROM FACE OF EXISTING FINISH.
5. THE TERM "EQUAL" OR "EQ" IS USED IN LIEU OF ACTUAL DIMENSIONS WHERE EQUAL SPACING OF ELEMENTS IS REQUIRED.
6. THE TERM "CLEAR" OR "CLR" IS USED TO DENOTE A MINIMUM DIMENSIONAL REQUIREMENT BETWEEN FORMER AND FOLLOWING COMPONENTS OF BUILDING ELEMENTS. NOTE THAT ACTUAL SPACING COULD BE GREATER.
7. THE TERM "M+" IS USED TO DENOTE A FLEXIBLE PORTION OF THE DIMENSION STRING.
8. WALLS SHOWN CENTERED ON A COLUMN GRID LINE AS INDICATED BELOW ARE TO BE LOCATED SO THAT THE CENTERLINE OF WALL ASSEMBLY COINCIDES TO THAT OF THE GRID, UNLESS NOTED OTHERWISE.



10. DOORS AND OPENINGS IN WALLS:  
A. DOORS LOCATED BY A WALL AT A RIGHT ANGLE AT THEIR HINGE SIDE, AND NO WALL WITHIN 12" OF THE LATCH SIDE, ARE TO BE INSTALLED 4" FROM THE FINISH SURFACE OF THE PERPENDICULAR WALL, UNLESS NOTED OTHERWISE. THIS CONDITION IS TYPICAL AND WILL NOT BE DIMENSIONED.



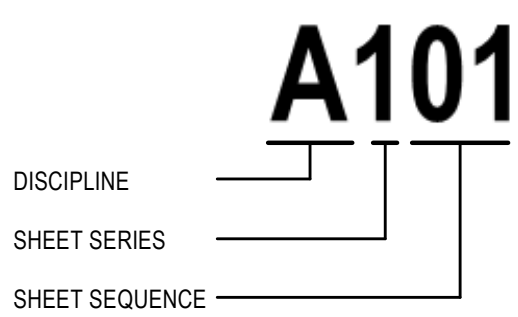
- C. OPENINGS LOCATED BY A WALL AT A RIGHT ANGLE ARE TO BE INSTALLED 4' FROM THE FINISH SURFACE OF THE PERPENDICULAR WALL TO THE CLEAR OPENING, UNLESS NOTED OTHERWISE.

- D. OPENINGS NOT LOCATED BY A WALL AT A RIGHT ANGLE WILL BE DIMENSIONED TO THE JAMB CLEAR OPENING.

## ABBREVIATIONS

	NONE
AND	AND
@	AT
≈	APPROXIMATELY
☉	CENTERLINE
Ø	DIAMETER
#	NUMBER
"	INCHES)
'	FOOT (FEET)
ACSF	ACCESS FLOORING
ADJ	ADJACENT
ASF	ABOVE FINISH FLOOR
AJHJ	AUTHORITY HAVING JURISDICTION
BT	BOTTOM OF
BOB	BOTTOM OF BEAM
BOS	BOTTOM
BS	BOTTOM OF STEEL
CODE	APPLICABLE REGULATIONS GOVERNING CONTRACT SCOPE OF WORK. SEE CODE COMPLIANCE SUMMARY SHEETS
CLR	CONTROL JOINT
CLS	CEILING
CLM	CLEAR
CMU	CONCRETE MASONRY UNIT
COJ	CLEAN OUT
DP	DEMEASUREMENT POINT
DS	DOWN SPOUT
DW	DISHWASHER
DWG	DRAINING
(E)	EXISTING)
EJ	EXPANSION JOINT
EQ	EQUAL
ETR	EXISTING TO REMAIN
EXP	EXPOSED STRUCTURE
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEL	FIRE EXTINGUISHER CABINET
FEC	FINISH FLOOR ELEV.
FIN	FACE OF
FOB	FACE OF BEAM
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOM	FACE OF MASONRY
FOS	FACE OF STUD
FOW	FACE OF WALL
GA	GAUGE
GB	GYPSONUM BOARD
GALV	GALVANIZED
HB	HOSE BIB
HS	HEAT RESISTANT
IND	INSIDE DIAMETER
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
MO	MASONRY OPENING
MW	MICROWAVE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OAK	OR APPROX. TO EQUAL
ON	ON CENTER
OD	OUTSIDE DIAMETER
OFD	OVERFLOW DRAIN
OFI	OWNER FURNISHED, CONTRACTOR INSTALLED
OFIS	OWNER FURNISHED, OWNER INSTALLED
O/O	OPPOSITE HAND
OPEN	OPEN TO STRUCTURE
PPN	PREFURNISHED (ALTERNATE PREFIN)
PLAS	PLASTER
RCP	REFLECTED CEILING PLAN
RO	ROOF DRAIN
REF	REFRIGERATOR
RO	ROUGH OPENING
ROW	RIGHT OF WAY
SF	SQUARE FOOT (FEET)
SHTHG	SHEATHING
STM	SIMILAR
ST	STEEL STUD STEEL (BASE, WALL PANEL, OR COVERING)
STAIN	STAIN
T	TEMPERED
TI	TOP OF
TOB	TOP OF BEAM
TOC	TOP OF CONCRETE
TOD	TOP OF STEEL DECK
TOP	TOP OF PARAPET
TOT	TOP OF STEEL
TOW	TOP OF WALL
TM	TO MATCH
TY	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VP	VERIFY IN FIELD

SHEET NUMBER - KEY



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# Clatsop County Circuit Court Security Improvements

749 Commercial St.  
Astoria, OR 97103

## REVISIONS

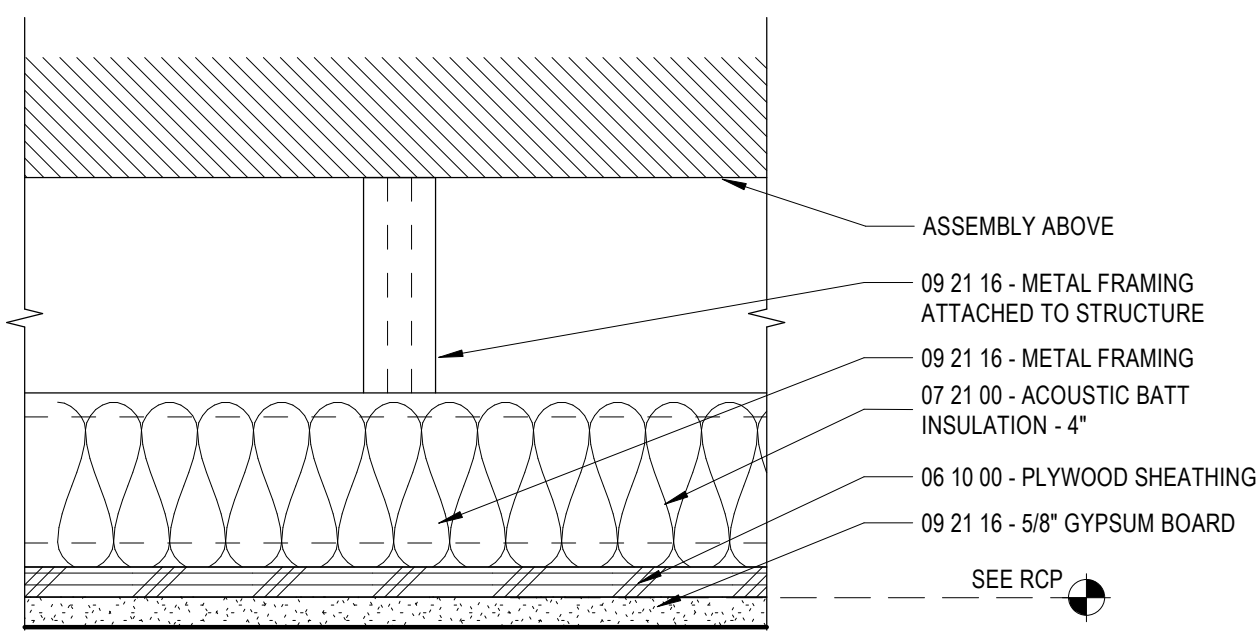
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PROJECT NO: 2101028-2

## SYMBOLS AND ANNOTATION

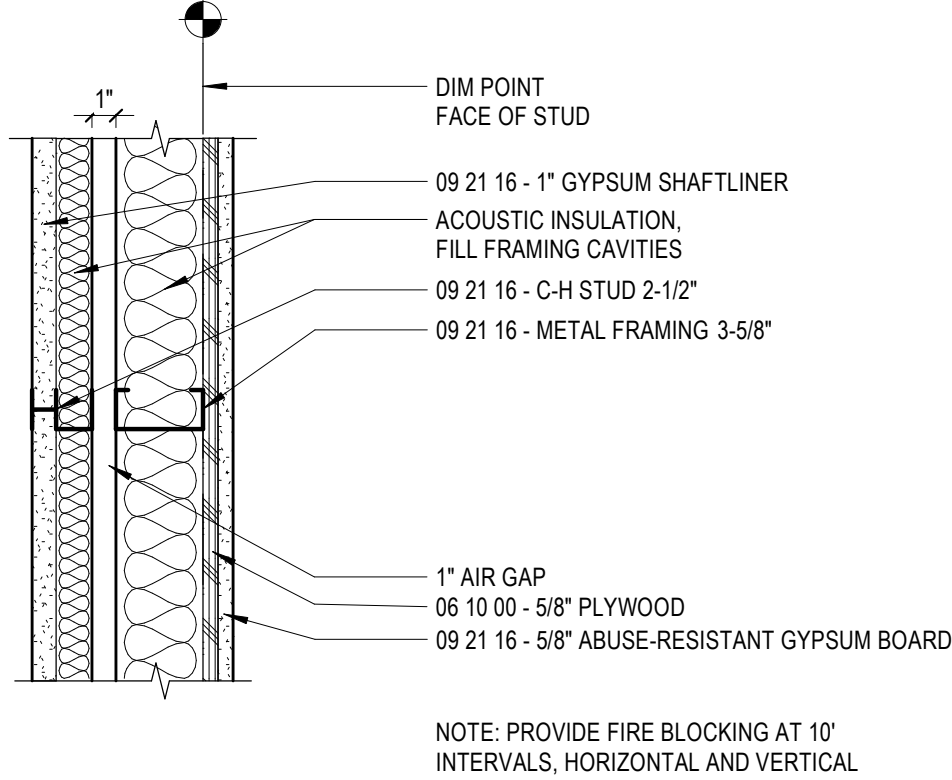
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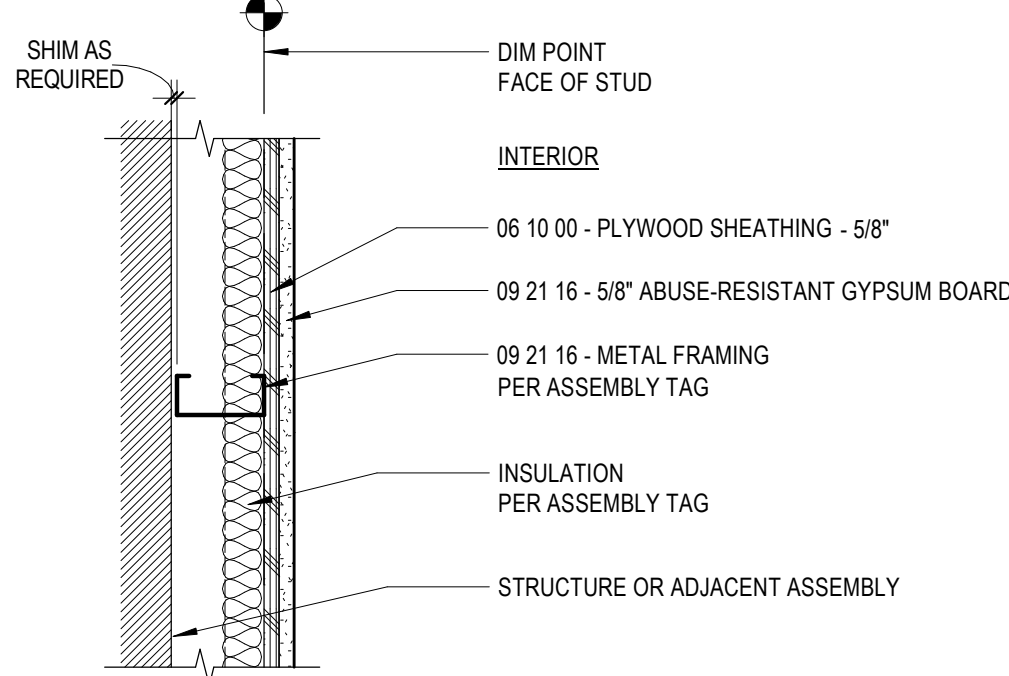




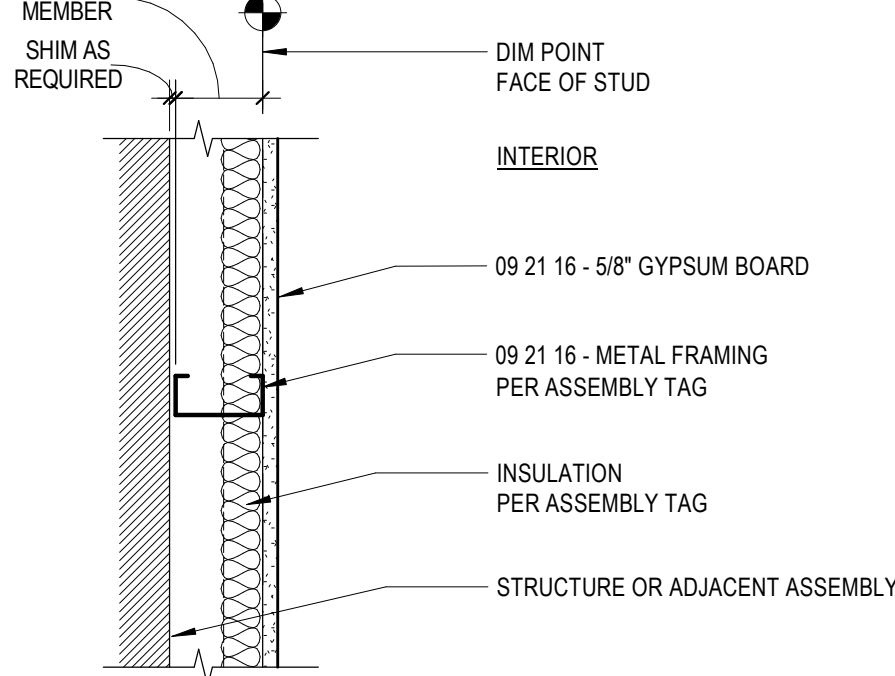
C04 GYPSUM BOARD FRAMED TO STRUCTURE



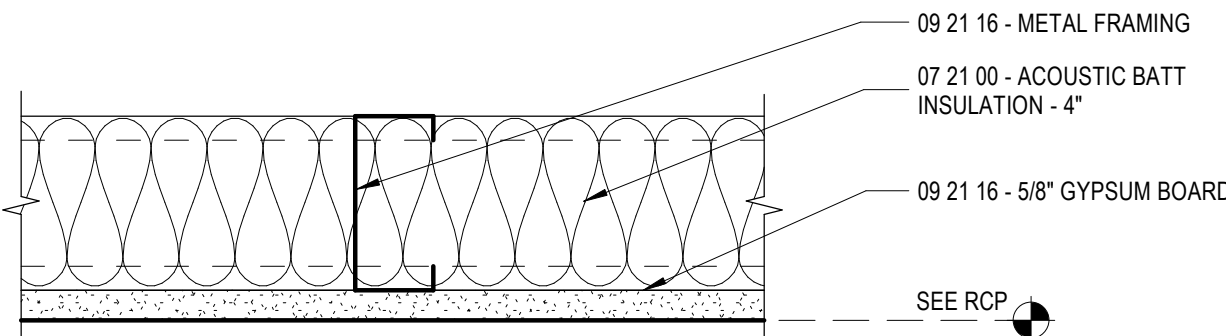
030 ACOUSTIC PARTITION  
NOT RATED



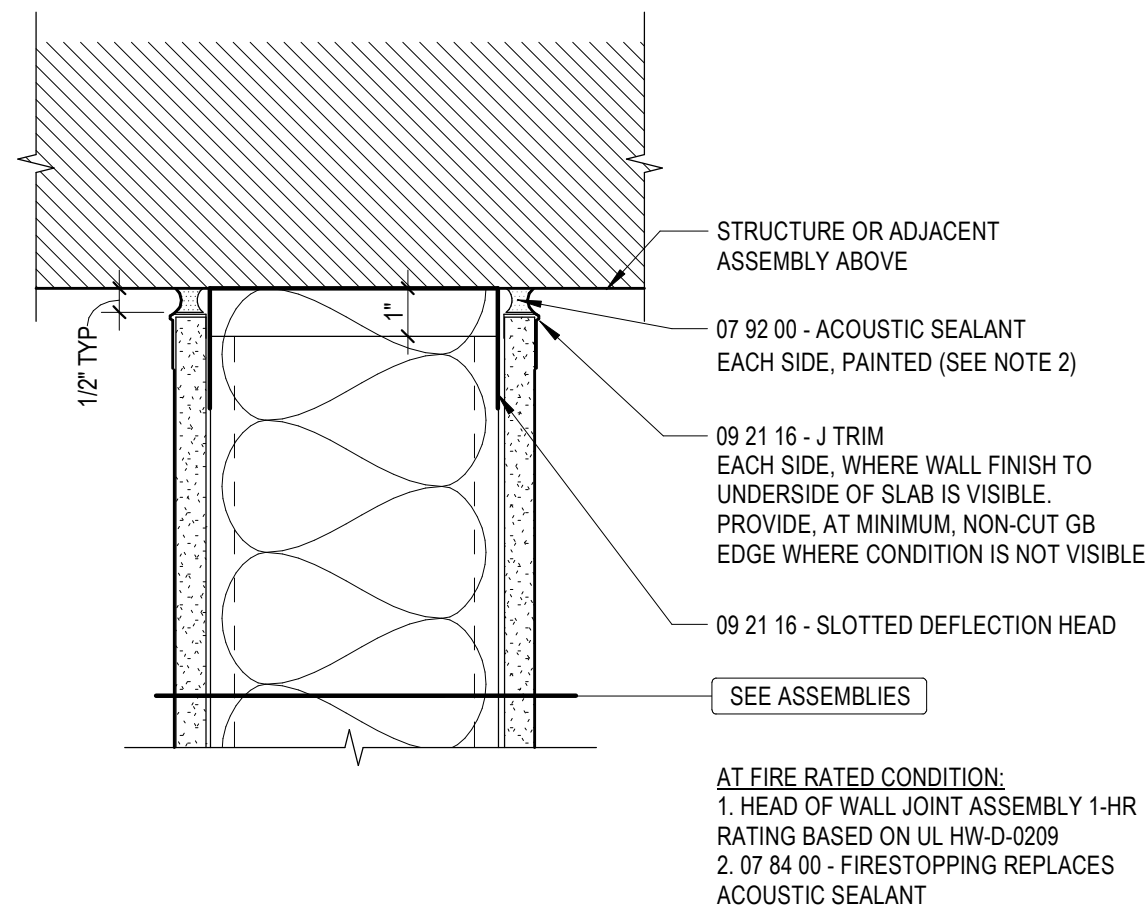
007 METAL PARTITION  
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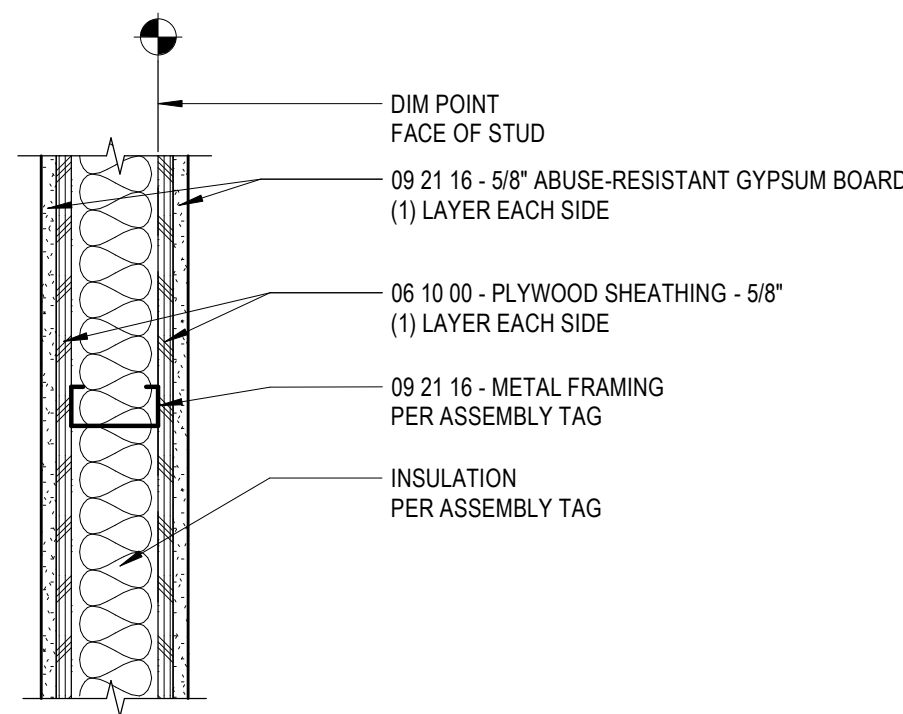
001 METAL FURRING  
NOT RATED



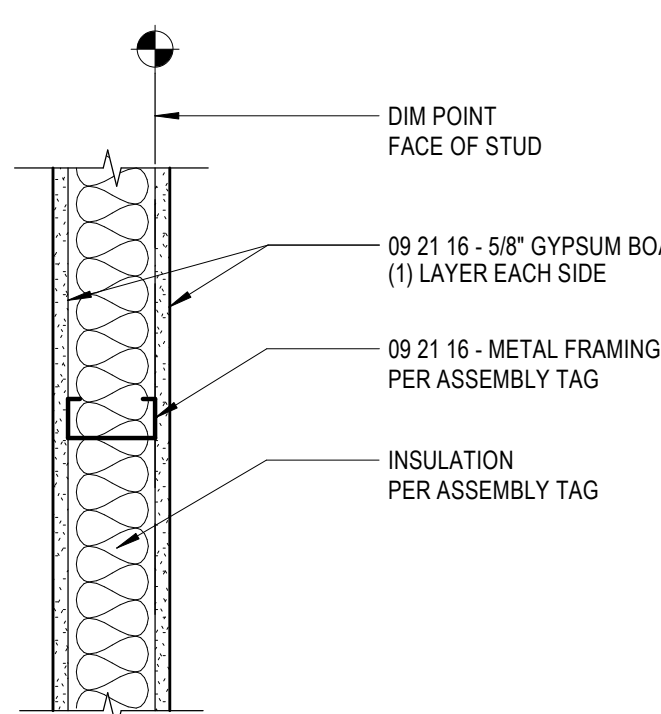
C05 GYPSUM BOARD FRAMED



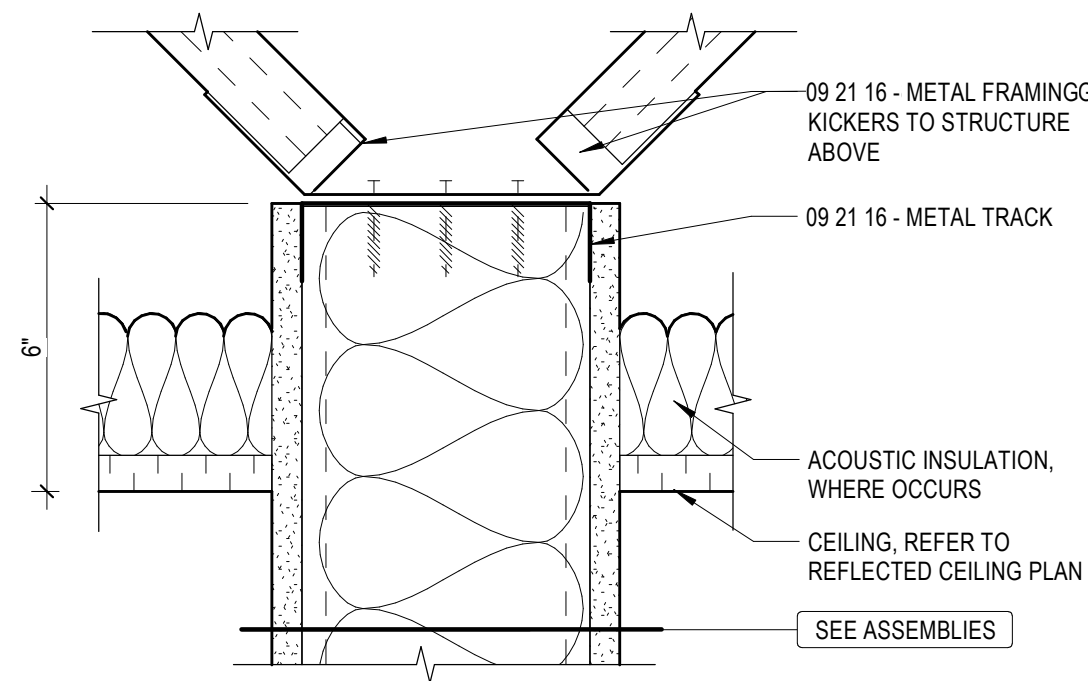
1A HEAD DETAIL AT NON-RATED PARTITION  
NOT RATED



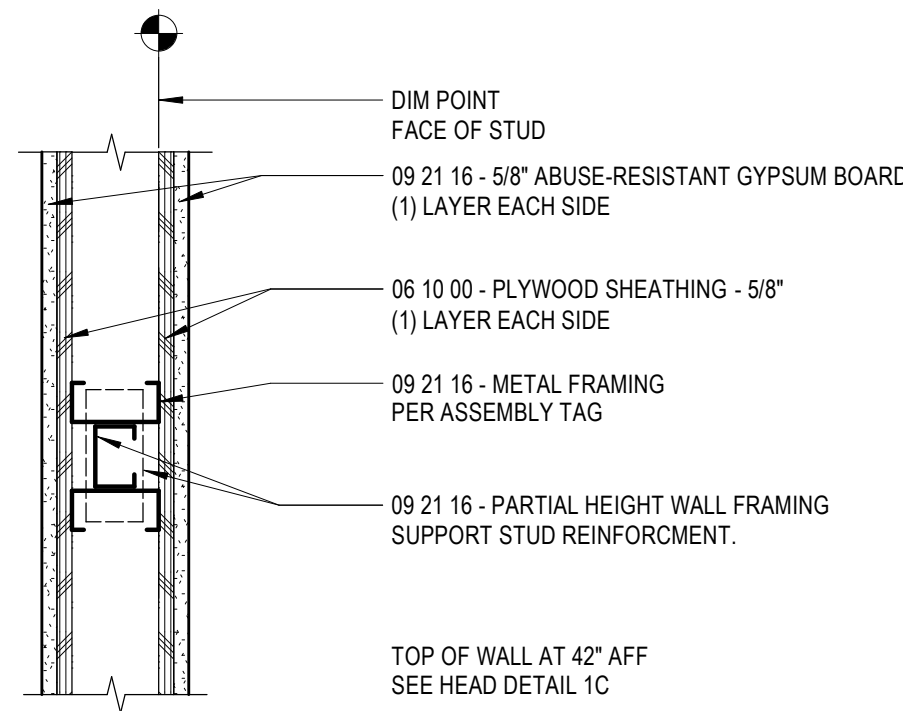
008 METAL PARTITION  
NOT RATED



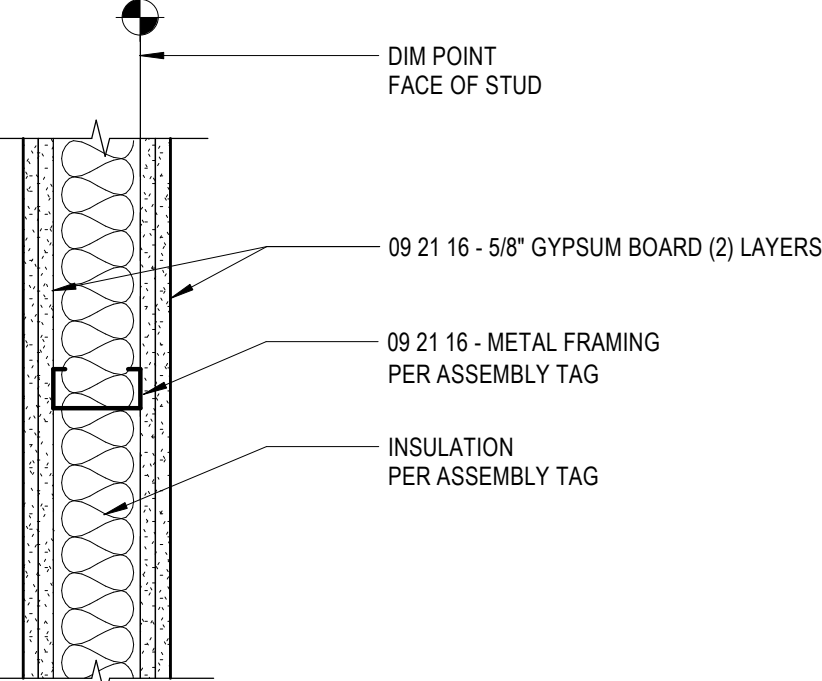
002 METAL PARTITION  
NOT RATED



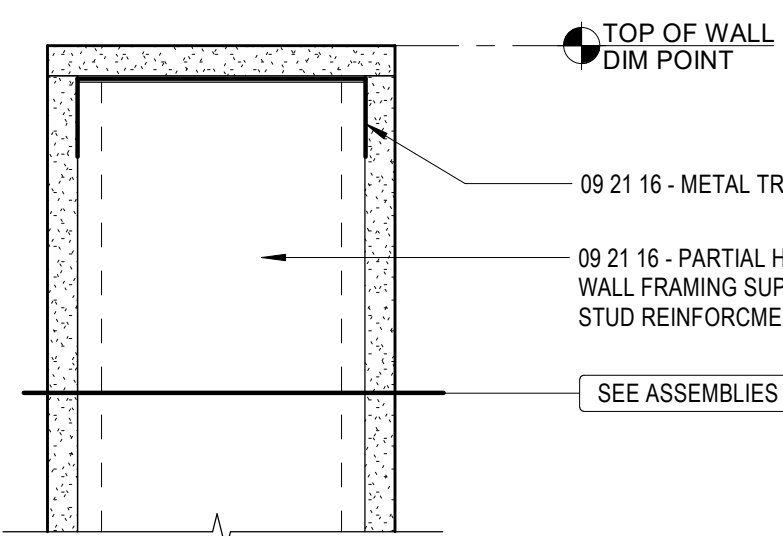
1B HEAD DETAIL AT BRACED PARTITION  
BRACED



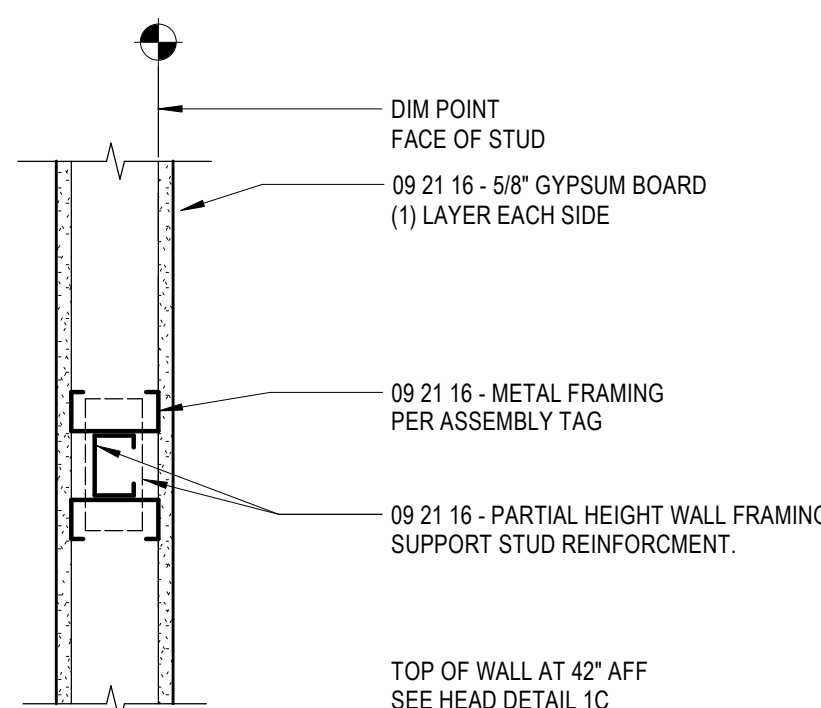
009 METAL PARTITION - PARTIAL HEIGHT  
NOT RATED



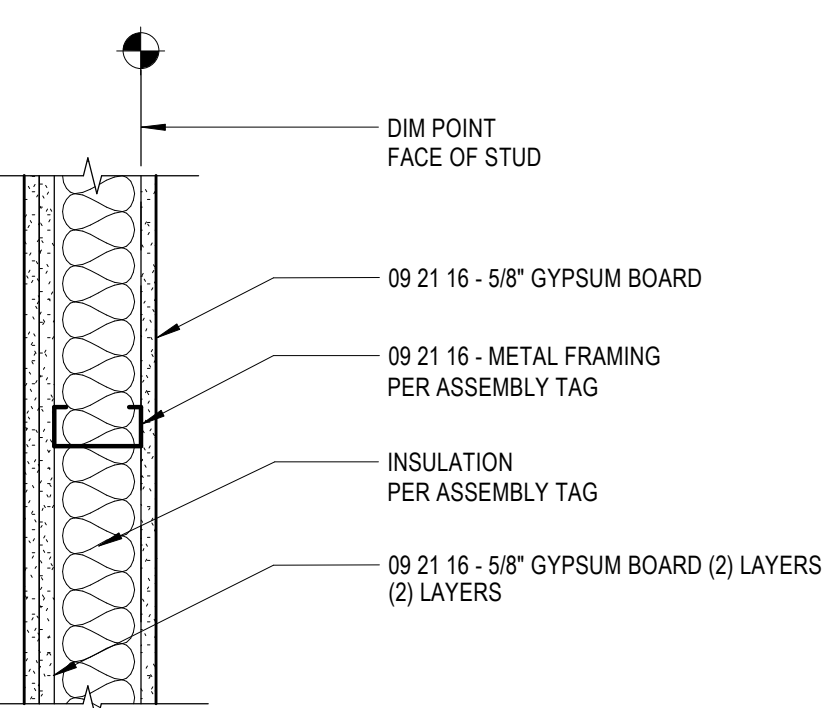
003 METAL PARTITION  
NOT RATED



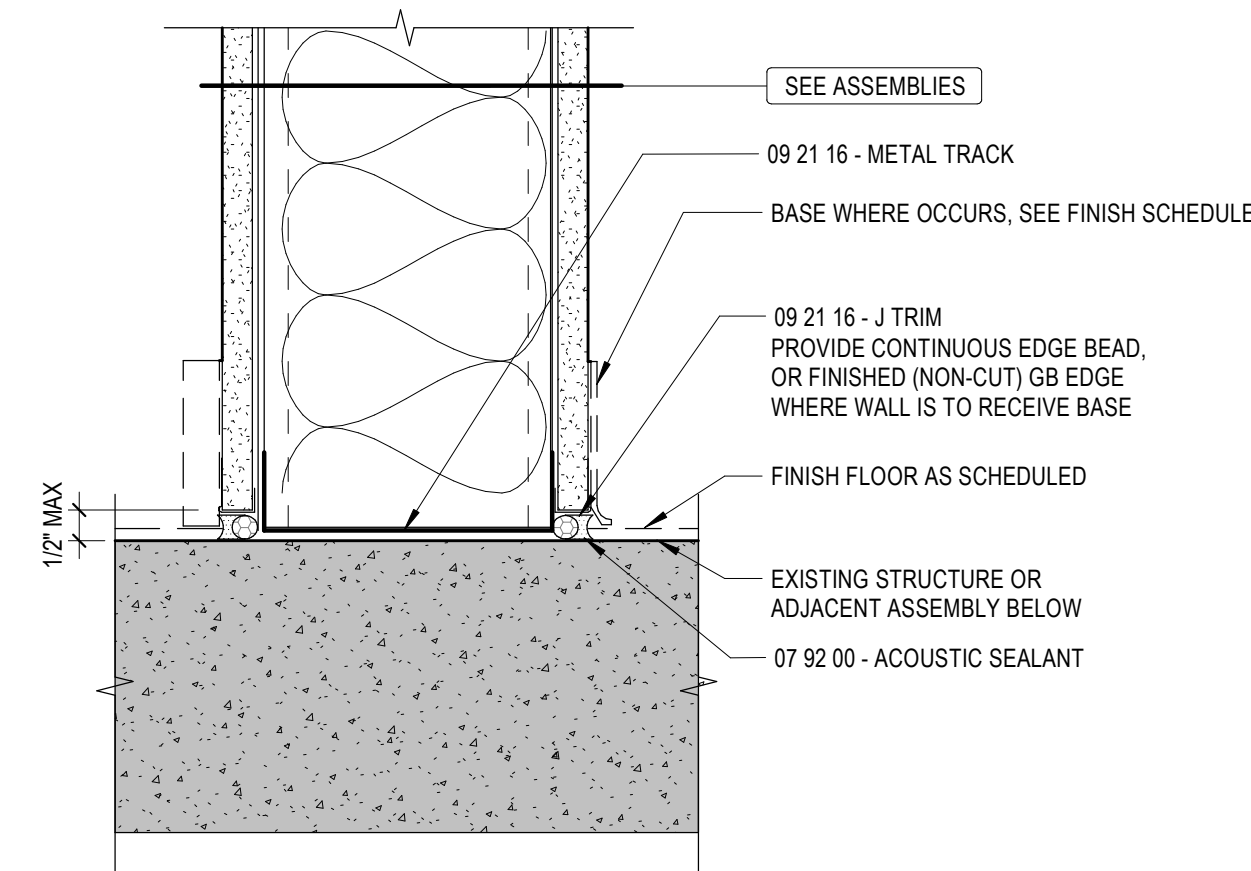
1C HEAD DETAIL AT PARTIAL HEIGHT



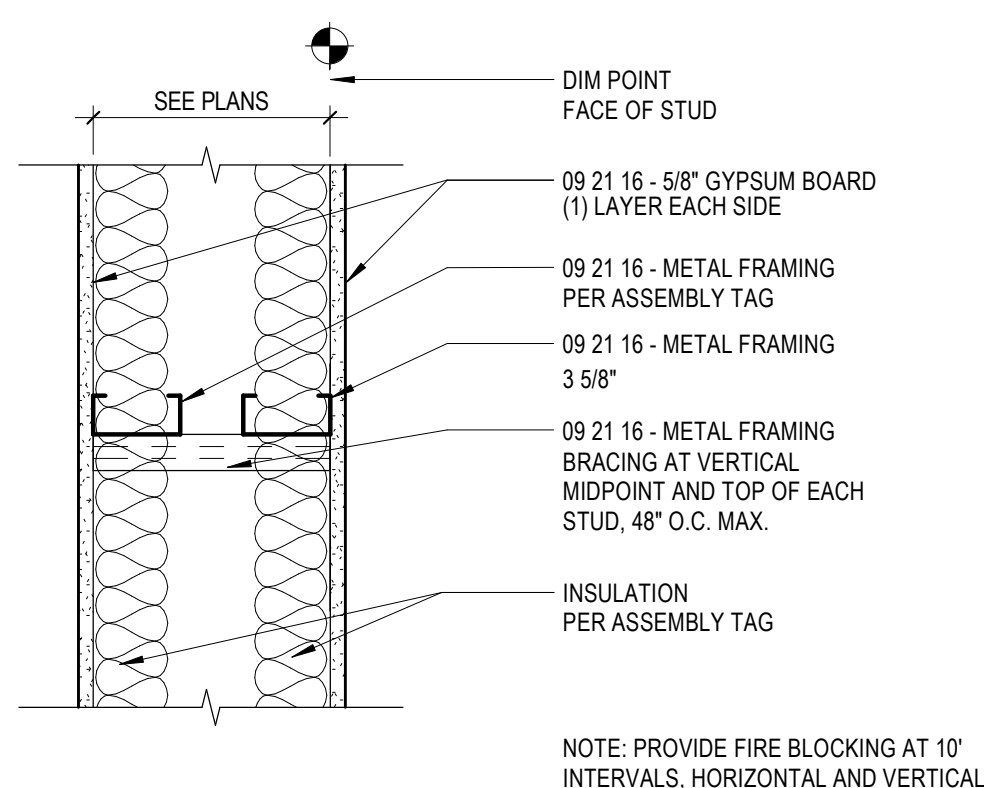
010 METAL PARTITION - PARTIAL HEIGHT  
NOT RATED



004 METAL PARTITION  
NOT RATED



1D SILL DETAIL AT CONCRETE

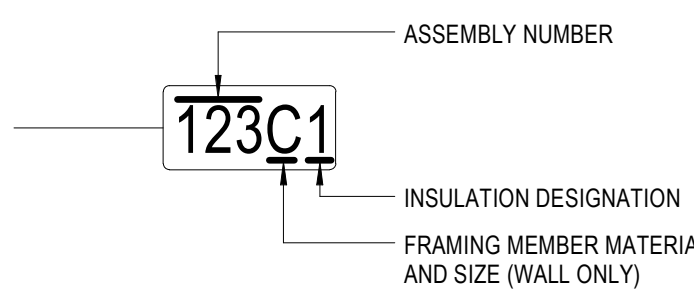


026 METAL PARTITION - DOUBLE STUD  
NOT RATED

## GENERAL NOTES - WALL ASSEMBLIES

- ALL FIRE PARTITIONS AND FLOORS SHALL BE CAULKED AROUND PERIMETER WITH AN UL APPROVED NON-HARDENING SEALANT AND COMPLY WITH AN APPROVED ASSEMBLY.
- REFERENCE CODE COMPLIANCE SUMMARY AND PLANS FOR RATED WALL LOCATIONS.
- REFERENCE STRUCTURAL FOR CONCRETE MASONRY UNIT, BEARING AND SHEAR WALL REQUIREMENTS.
- METAL STUD MATERIAL THICKNESS IS DESIGN-BUILD. CONTRACTOR TO COORDINATE METAL STUD MATERIAL THICKNESS AND SPACING OF INDIVIDUAL WALLS TO MEET ALLOWABLE LIMITING WALL HEIGHT CRITERIA. SIZING SHALL MEET THE REQUIREMENTS OF THE TESTED ASSEMBLY AS APPLICABLE.
- PROVIDE DEFLECTION HEADS AT NON-BEARING WALLS WHICH TERMINATE AT THE UNDERSIDE OF STRUCTURE.
- FILL FULL WIDTH AND DEPTH OF STUD CAVITY WHERE ACOUSTIC INSULATION INDICATED.

## ASSEMBLY TAG - KEY



## FRAMING MEMBER SIZE DESIGNATION

METAL FRAMING	
A	1 5/8" METAL STUD
B	2 1/2" METAL STUD
C	3 5/8" METAL STUD
D	4" METAL STUD
E	6" METAL STUD
F	8" METAL STUD
G	7/8" FURRING CHANNEL
H	1 1/2" FURRING CHANNEL
J	2 1/2" METAL C-H SHAFT WALL STUD
K	4" METAL C-H SHAFT WALL STUD
L	6" METAL C-H SHAFT WALL STUD
WOOD FRAMING*	
M	NOMINAL 2x4, 3x4, OR 4x4 WOOD STUD
N	NOMINAL 2x6, 3x6, OR 4x6 WOOD STUD
P	NOMINAL 2x8, 3x8, OR 4x8 WOOD STUD
Q	NOMINAL 2x10, 3x10, OR 4x10 WOOD STUD
CEMENTITIOUS WALLS**	
R	CONCRETE
S	NOMINAL 4" CMU
T	NOMINAL 6" CMU
U	NOMINAL 8" CMU
V	NOMINAL 10" CMU
X	NOMINAL 12" CMU

\*REFERENCE STRUCTURAL DOCUMENTS FOR BEARING AND SHEAR WALL REQUIREMENTS  
\*\*REFERENCE STRUCTURAL DOCUMENTS FOR BEARING AND REINFORCING REQUIREMENTS

## INSULATION DESIGNATION

- 0 = NONE  
1 = ACOUSTIC INSULATION (SECTION 07 21 00 - THERMAL INSULATION)  
2 = THERMAL BATT INSULATION (SECTION 07 21 00 - THERMAL INSULATION)  
3 = FOAM BOARD INSULATION (SECTION 07 21 00 - THERMAL INSULATION)  
4 = SPRAY APPLIED INSULATION (SECTION 07 21 29 - SPRAYED INSULATION)  
5 = MINERAL FIBER INSULATION (SECTION 07 21 00 - THERMAL INSULATION)

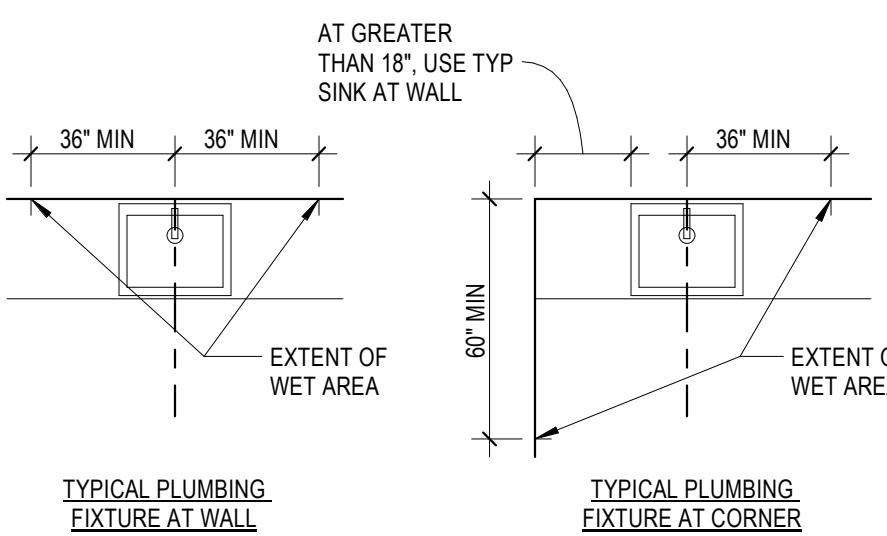
## ACOUSTIC LABORATORY LEGEND

- INT = INTERTEK - YORK, PA  
NGC = NGC TESTING SERVICES - BUFFALO, NY  
RAL = RIVERSBANK ACOUSTICAL LABORATORIES - GENEVA, IL  
WEAL = WESTERN ELECTRO ACOUSTICAL LABORATORY, INC - SANTA CLARITA, CA

\*\* ALL LABORATORIES LISTED ABOVE ARE NVLAP CERTIFIED

## WET AREA LOCATIONS

- NOTES:  
1. REFER TO SECTION 09 21 16 - GYPSUM BOARD ASSEMBLIES FOR WET AREA MATERIALS AND TYPICAL LOCATIONS  
2. VERTICAL EXTENT OF WET AREA TO BE FROM FLOOR TO 3'-0" ABOVE COUNTER OR FIXTURE RIM, MIN.  
3. DIAGRAM BELOW REFERS TO PLUMBING FIXTURES LOCATED IN NON WET AREA ROOMS.



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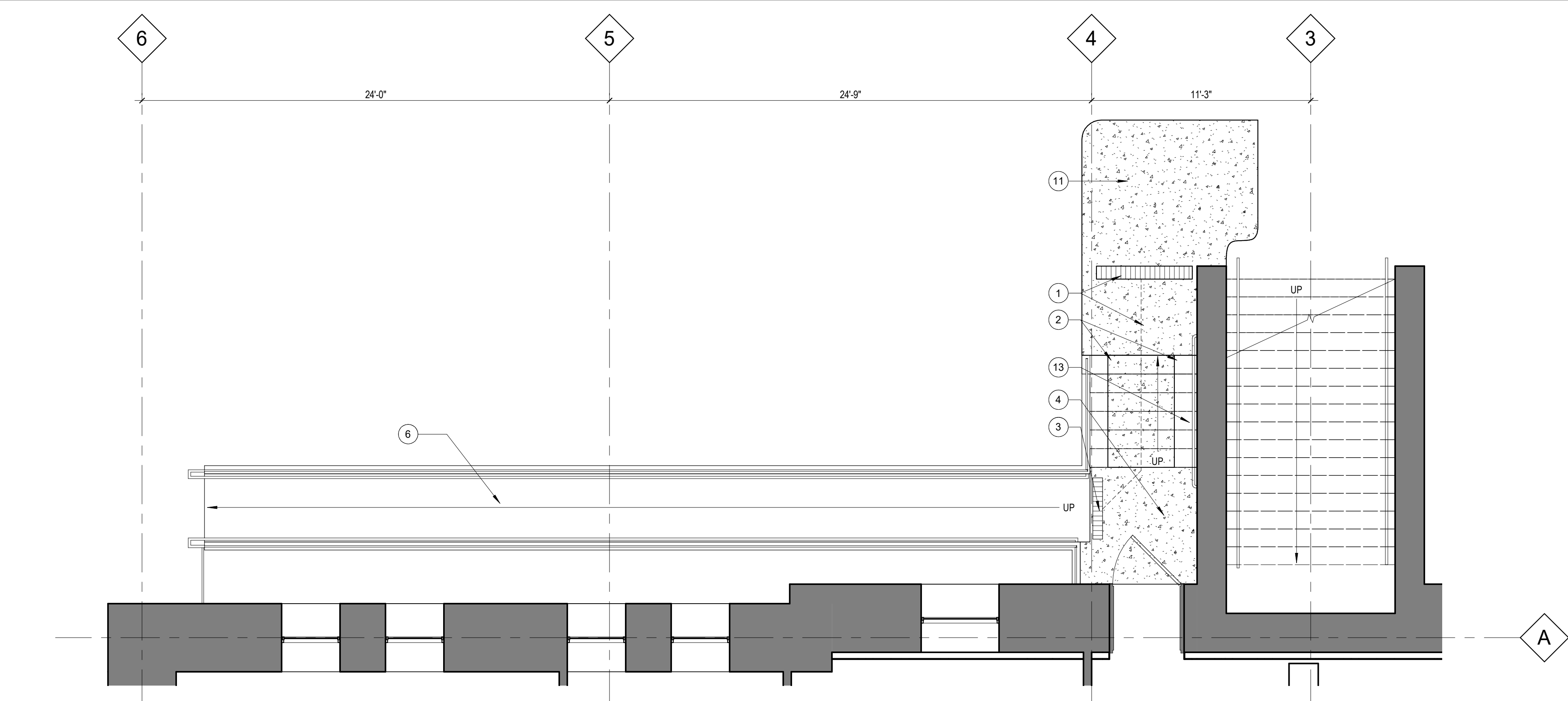
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ASSEMBLIES -  
INTERIOR METAL  
A003

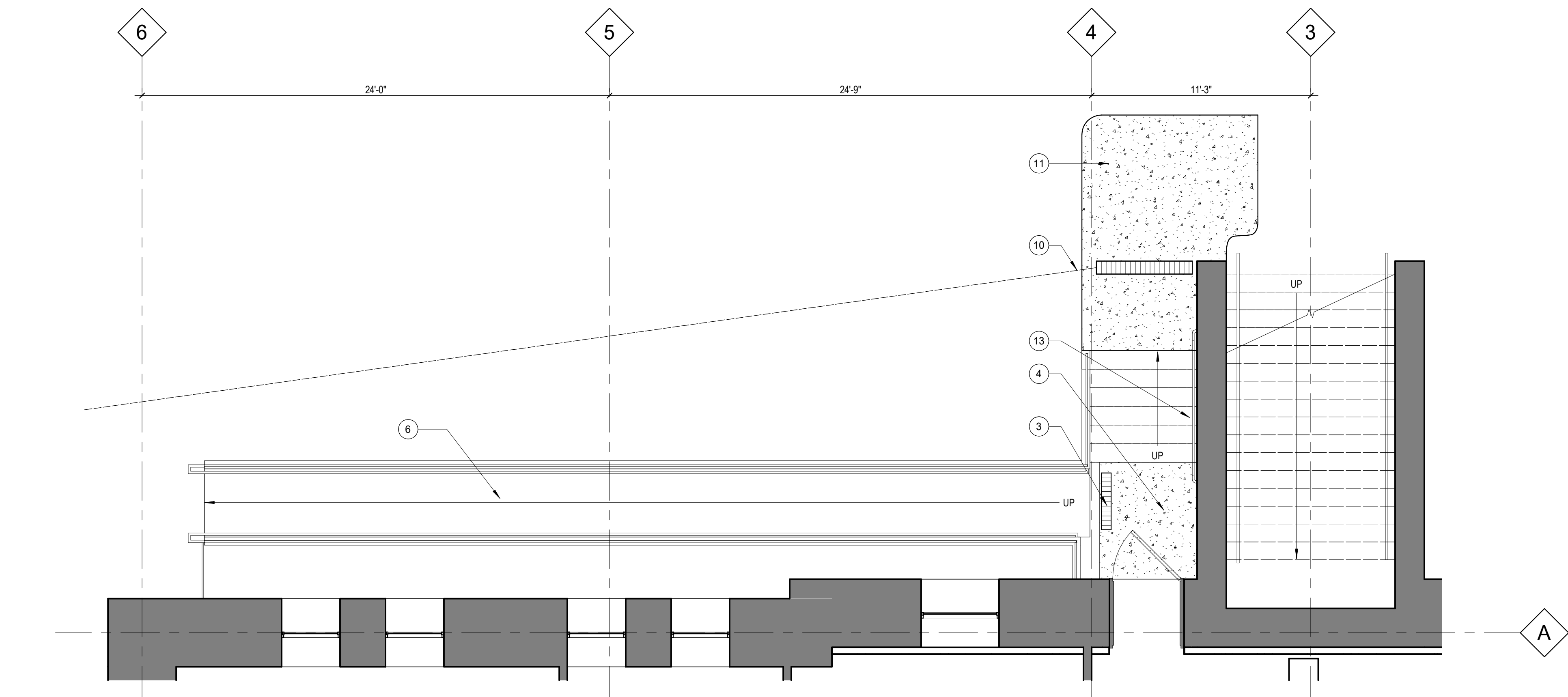
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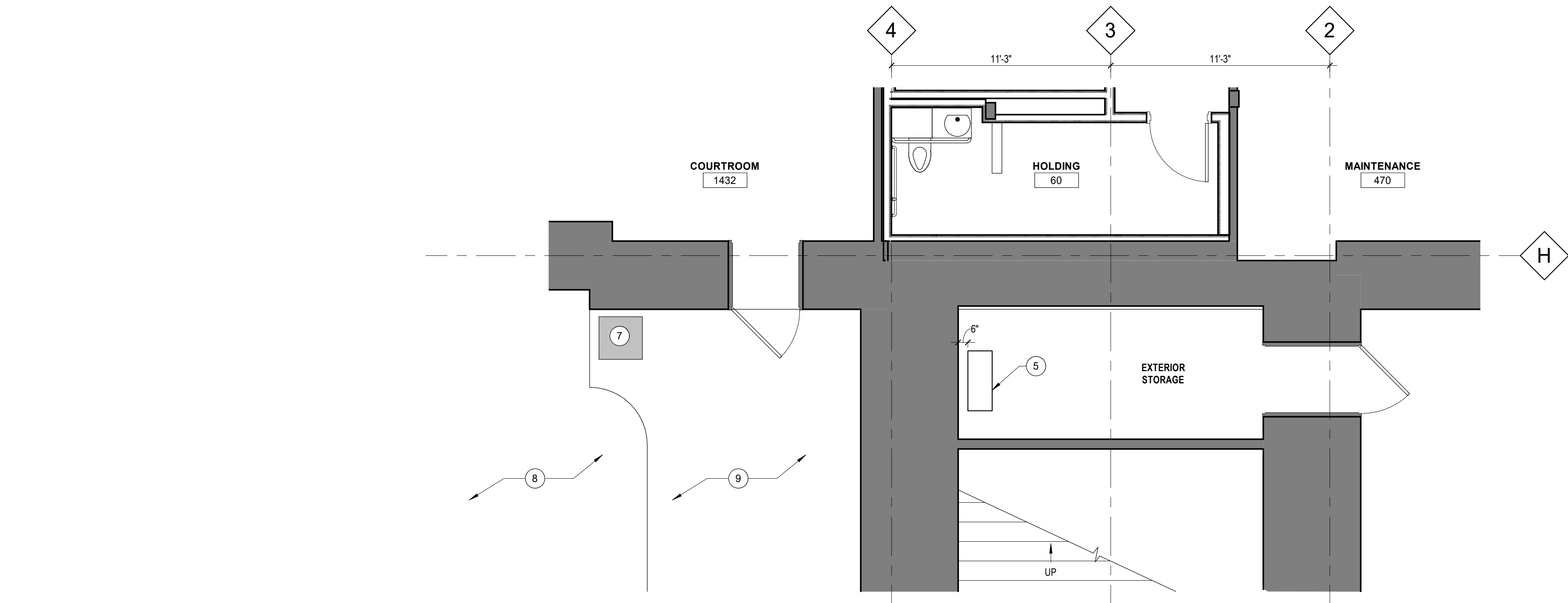
6/29/2023 10:37:56 AM SERA Design and Architecture, Inc. © 2023 Copyright protected. See Design Agreement. For use on this project only. Unauthorized reproduction of any part of this material is prohibited.



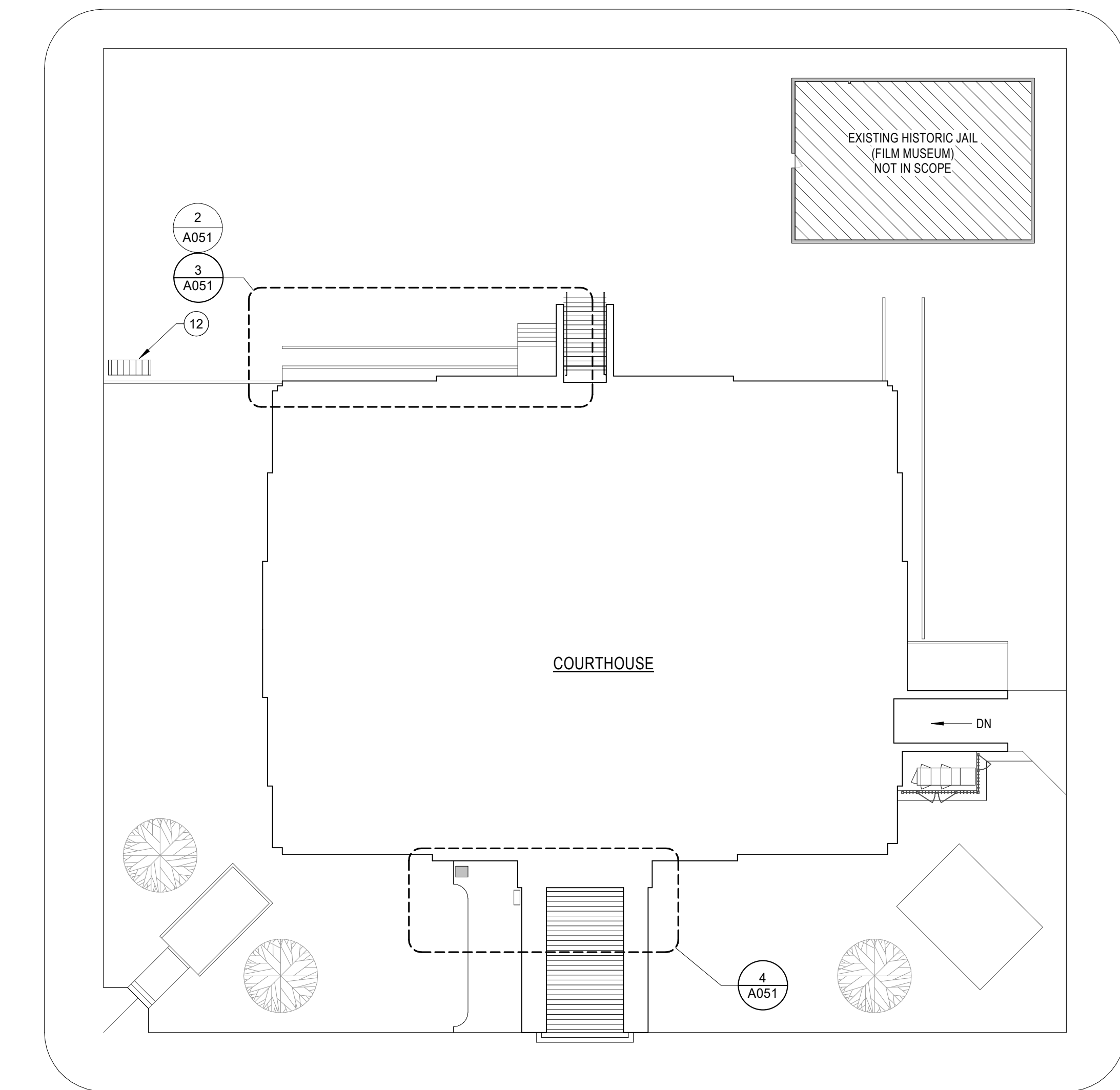
**2 SOUTH ENTRY WITH ALTERNATE #1**  
1/4" = 1'-0"



**3 SOUTH ENTRY WITH ALTERNATE #2**  
1/4" = 1'-0"



**4 NORTH YARD PLAN**  
1/4" = 1'-0"



**1 SITE PLAN**  
1" = 20'-0"

GENERAL NOTES - SITE PLAN

A. SITE PLAN KEYED NOTES APPLY TO A050 SHEET SERIES. ALL KEYED NOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED.

KEYED NOTES - SITE PLAN

- ALTERNATE #1: INSTALL TRENCH DRAIN IN TOP LANDING. INSTALL PIPING BENEATH STAIRS TO CONNECT DRAIN CATCH BASIN AND EXISTING DRAIN PIPE AT LOWER LANDING.
- ALTERNATE #1: DEMOLISH AND POUR BACK CONCRETE STAIRS. MAINTAIN A MINIMUM 1'-0" CLEARANCE OF EXISTING SITE WALLS. INSTALL EPOXY DOWELS ON EACH SIDE OF NEW STAIRS TO EXISTING CONCRETE.
- ADA COMPLIANT TRAFFIC-RATED CATCH BASIN AT LOWER LANDING.
- 03 30 00 - CONCRETE SLAB, NEW CONCRETE LANDING. 4" THICKNESS WITH #4 REINFORCING BAR AT 18" O.C.
- HEAT PUMP OUTDOOR UNIT. SEE MECHANICAL DRAWINGS. COORDINATE FINAL LOCATION IN FIELD WITH OWNER AND ARCHITECT
- EXISTING RAMP
- EXISTING MECH UNIT
- EXISTING LAWN AND PLANTING
- EXISTING CONCRETE WALK
- ALTERNATE #2: INSTALL TRENCH DRAIN IN TOP LANDING. DEMOLISH PAVING AS REQUIRED TO INSTALL DRAIN PIPE TO CONNECT TRENCH DRAIN TO CATCH BASIN AT EAST EDGE OF PARKING AREA, APPROXIMATELY 80' - VIF
- REMOVE AND REPLACE EXISTING CONCRETE LANDING. COORDINATE WITH WORK OF ALTERNATE #1 AND/OR #2 AS SELECTED BY OWNER
- EXISTING CATCH BASIN
- 05 50 00 - PAINTED METAL HANDRAIL

LEGEND - SITE PLAN

- EXISTING PAVING AND/OR LANDSCAPE AREA
- ASPHALT PAVING
- EXISTING CONCRETE PAVING TO REMAIN
- CONCRETE PAVING
- EXISTING STRUCTURE TO REMAIN
- PARKING AND DRIVE STRIPING
- LANDSCAPE AREAS



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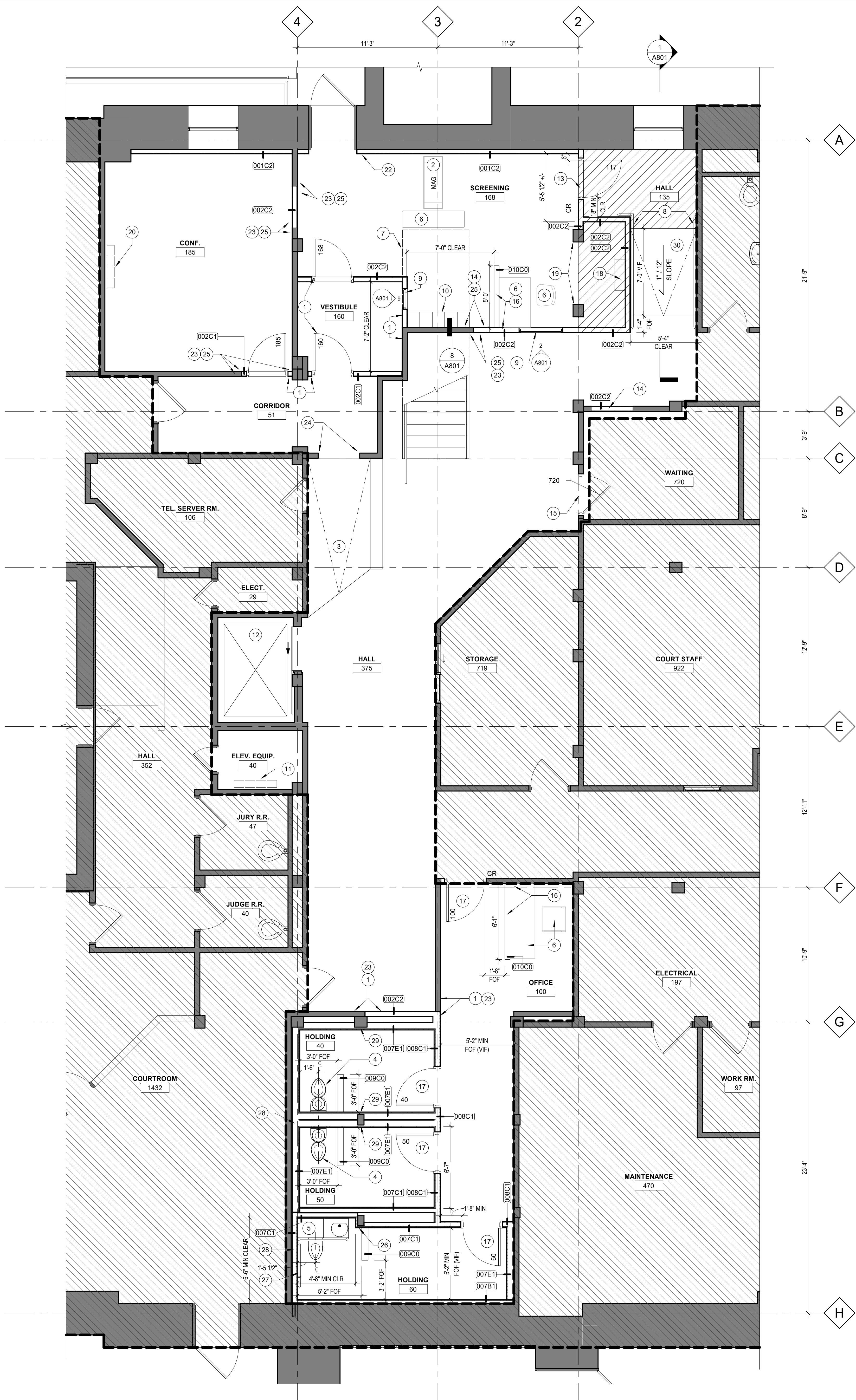
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SITE PLANS AND  
DETAILS

A051

BID SET





1 ENLARGED FLOOR PLAN - BASEMENT  
1/4" = 1'-0"

- GENERAL NOTES - ENLARGED PLAN**
- A. ENLARGED PLAN KEYED NOTES APPLY TO A150 SERIES SHEETS. ALL KEYED NOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED.
  - B. SEE SHEET G801 FOR TYPICAL ACCESSIBILITY CLEARANCES AND MOUNTING HEIGHT INFORMATION.
  - C. SEE THE ROOM FINISH SCHEDULE FOR ADDITIONAL FINISH AND MATERIAL INFORMATION.
  - D. REFERENCE SHEET A801 FOR DETAILS OF TRANSITIONS BETWEEN FLOORING MATERIALS.
  - E. IN ADDITION TO ANY CONDUIT INSTALLATION, CONTRACTOR SHALL PULL ALL CABLING FOR ALL LOW-VOLTAGE DEVICES, CAMERAS, DATA-PORTS, AND ALL OTHER LOCATIONS REQUIRED LOW-VOLTAGE CONNECTIONS. CONTRACTOR SHALL INSTALL ALL OUTLETS AND COVER PLATES AT LOW-VOLTAGE LOCATIONS.

- KEYED NOTES - ENLARGED PLAN**
- 1 ALIGN
  - 2 OFOI MAGNETOMETER
  - 3 EXISTING RAMP
  - 22 00 00 - COMBI-TOILET AND GRAB BARS
  - 4 22 00 00 - ACCESSIBLE COMBI-TOILET
  - 6 OFOI FURNITURE. VERIFY WITH OWNER WHICH FURNITURE IS TO BE SECURED TO THE FLOOR.
  - 7 STAIRS ABOVE
  - 8 05 50 00 PAINTED METAL HANDRAIL. EXTEND RAILING BOTTOM HORIZONTALLY MIN 12" BEYOND RAMP END. RAILING TOP RETURNS PERPENDICULAR TO WALL.
  - 10 08 80 00 - GL-3 GLASS WINDOW SET IN WOOD FRAME. SEE 2/A801 FOR TYP DETAIL.
  - 10 51 23 - STORAGE LOCKERS
  - 11 26 00 00 NEW FAN COIL UNIT. SEE MECHANICAL DRAWINGS.
  - 12 14 24 00 ELEVATOR MODERNIZATION INCLUDING REPLACEMENT OF INTERIOR FINISHES AND EQUIPMENT UPGRADES. NO CHANGES TO ELEVATOR CAB SIZE, LOAD CAPACITY, SHAFT SIZE OR RATING. SEE ALLOWANCES FOR CAB FINISH.
  - 13 0 71 00 - ELECTRIC HARDWARE WITH REMOTE PUSH-BUTTON RELEASE.
  - 14 INFILL WALL, NEW PAINT AND TRIM TO MATCH EXISTING. PATCH AND REPAIR EXISTING FLOORING.
  - 15 RELOCATE EXISTING DOOR, FRAME CASING, AND HARDWARE. PATCH AND REPAIR EXISTING WALL AND FLOORING.
  - 16 LOCATE POWER AND DATA WITH ACCESS TO DATA AT DESK. SEE ELECTRICAL DRAWINGS.
  - 17 INSTALL JUNCTION BOX AND ELECTRICAL CONDUIT ABOVE CEILING FROM HOLDING ROOM TO CORRIDOR FOR OFOI SECURITY CAMERA EQUIPMENT AND WIRING. VERIFY BOX LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
  - 18 RELOCATE (E) GUN LOCKERS AND PLYWOOD BACKING HERE.
  - 19 CORNER GUARDS INSTALLED AT COLUMNS.
  - 20 RELOCATE TV MOUNTING AND ASSOCIATED POWER AND CABLE CONNECTIONS CENTERED ON WALL.
  - 22 RELOCATE EXISTING ADA DOOR ACTUATOR BUTTON TO FACE OF FURRING WALL.
  - 23 MATCH ADJACENT BASE AND TRIM.
  - 24 06 20 00 - NEW WOOD CASING AROUND EXISTING OPENING, WD-2.
  - 25 ALIGN FACE-OF-FINISH WITH EXISTING ON BOTH SIDES OF PARTITION.
  - 26 CONTINUE OPSIUM BOARD AND PLYWOOD AROUND COLUMN. FRAME WITH HAT CHANNEL AND/OR WOOD FURRING.
  - 27 HORIZONTAL AND VERTICAL GRAB BARS. SEE G802 FOR LOCATION REQUIREMENTS.
  - 28 NEW PARTITION SHALL NOT BE ATTACHED TO EXISTING PARTITION. MAINTAIN MIN 1/2" GAP BETWEEN EXISTING PARTITION AND NEW FRAMING. PROVIDE FIRE BLOCKING AT 10' INTERVALS HORIZONTAL AND VERTICAL BETWEEN EXISTING AND NEW PARTITIONS.
  - 29 FRAME WALLS WITH 1-1/2" +/- CLEAR BETWEEN WALL BOARD/SHEATHING AND FACE OF COLUMN.
  - 30 VERIFY IN FIELD DIFFERENCE IN FINISHED FLOOR ELEVATION LEVEL AND NOTIFY ARCHITECT. ADJUST RAMP LENGTH TO MAINTAIN RAMP SLOPE LESS THAN OR EQUAL TO SLOPE INDICATED.

- LEGEND - FLOOR PLAN**
- N.I.C. AREAS
  - AREA OF ADDED INTERIOR CONCRETE SLAB FLOOR
  - CR CARD READER



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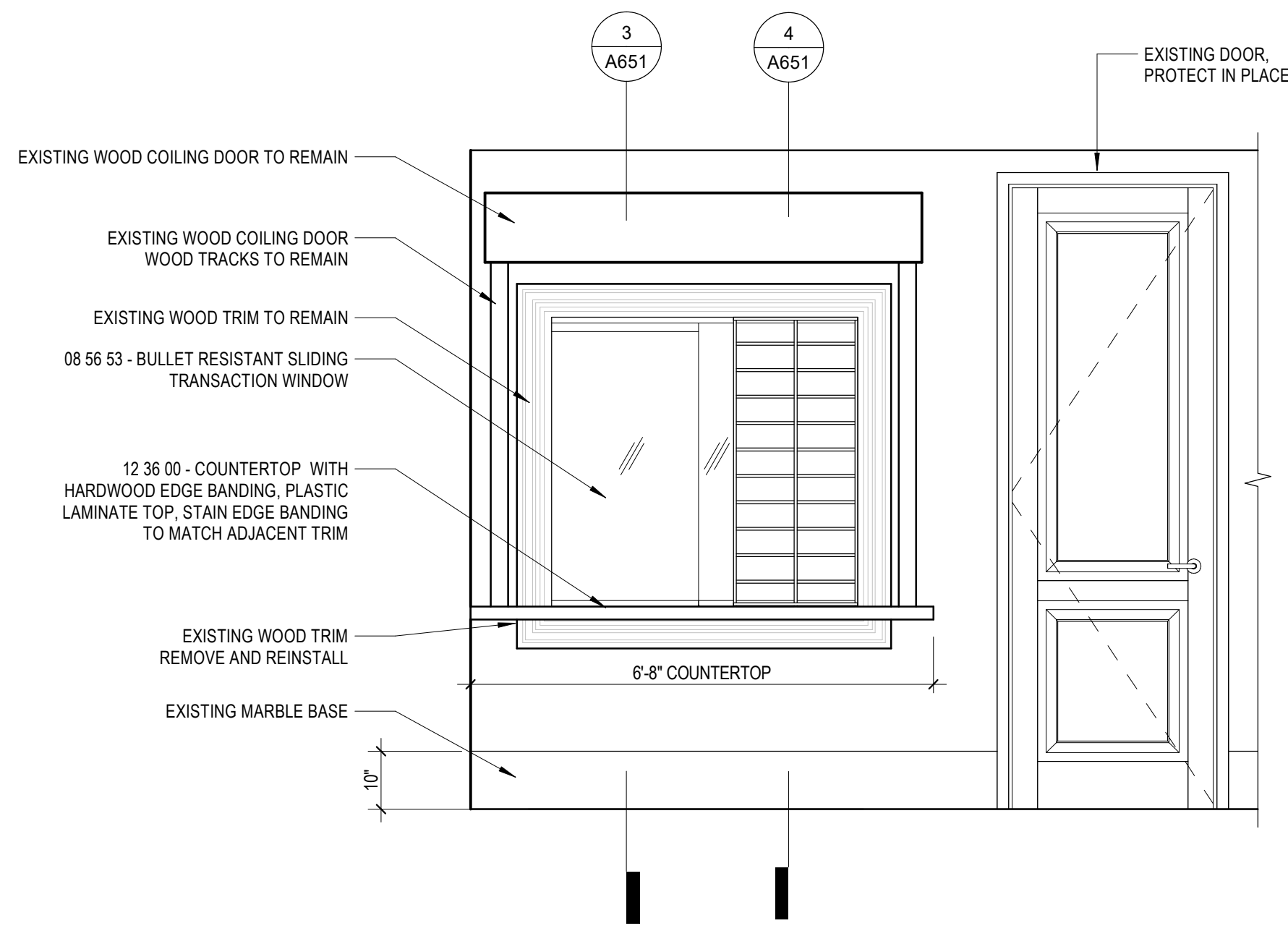
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**ENLARGED PLAN  
- BASEMENT**

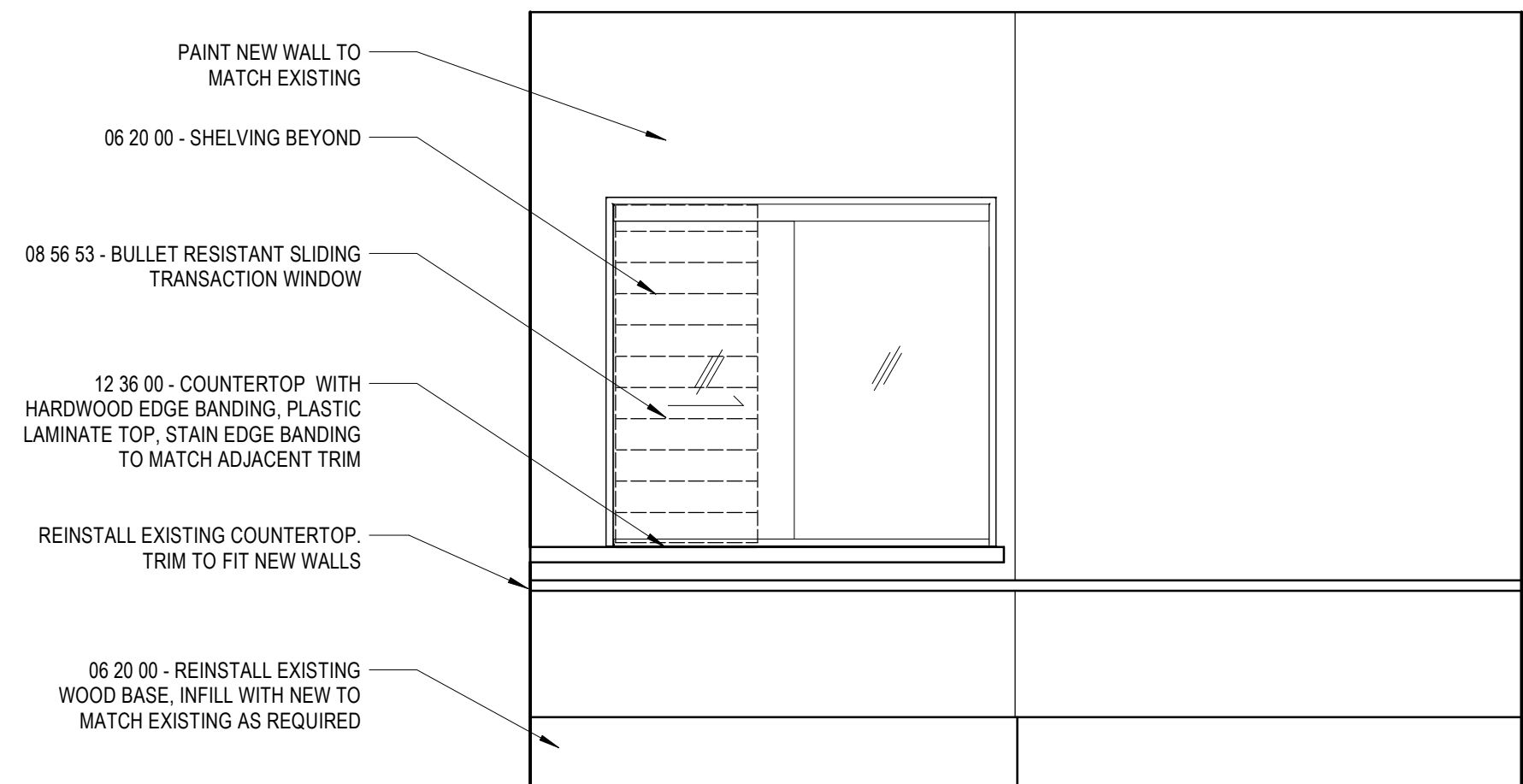
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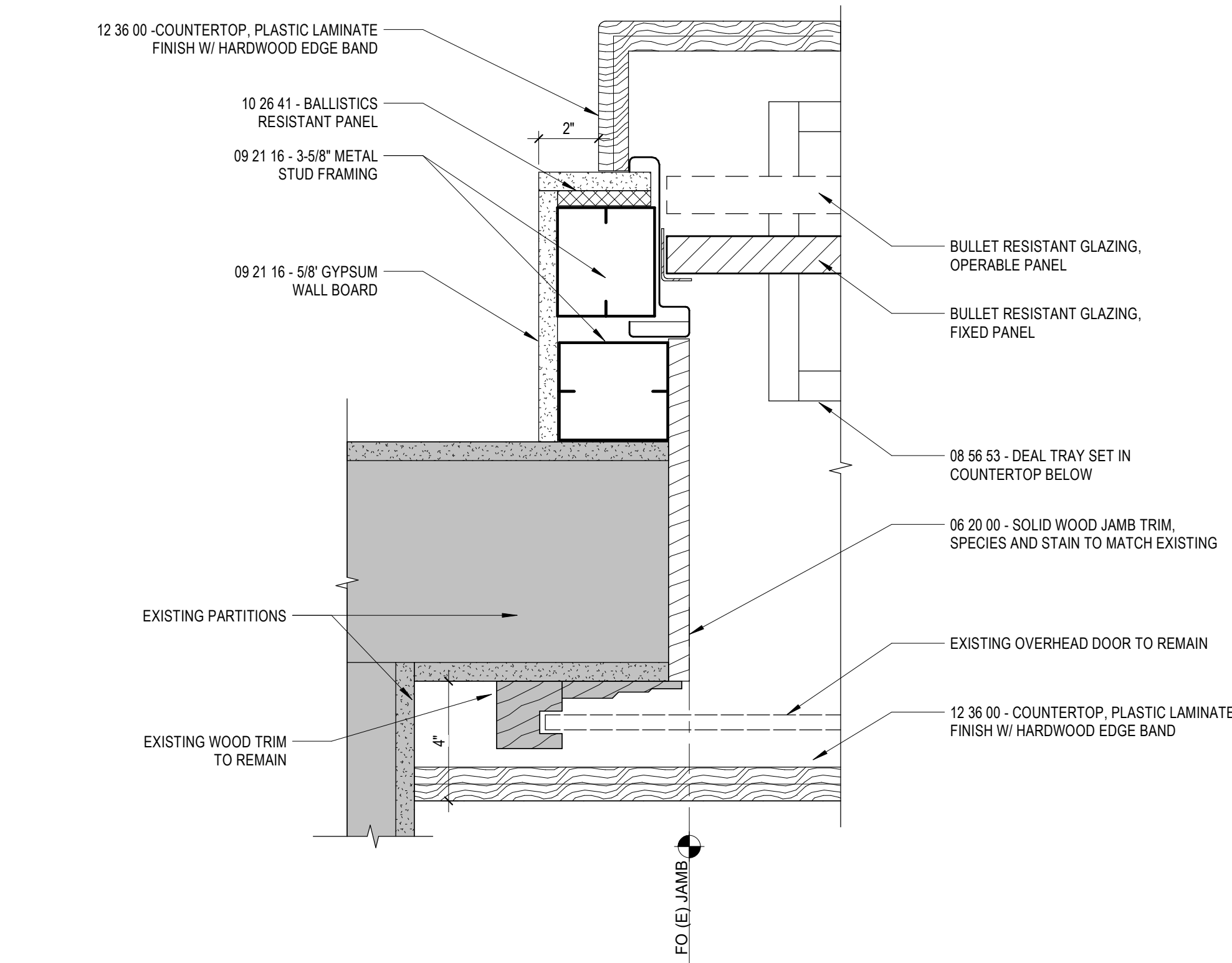




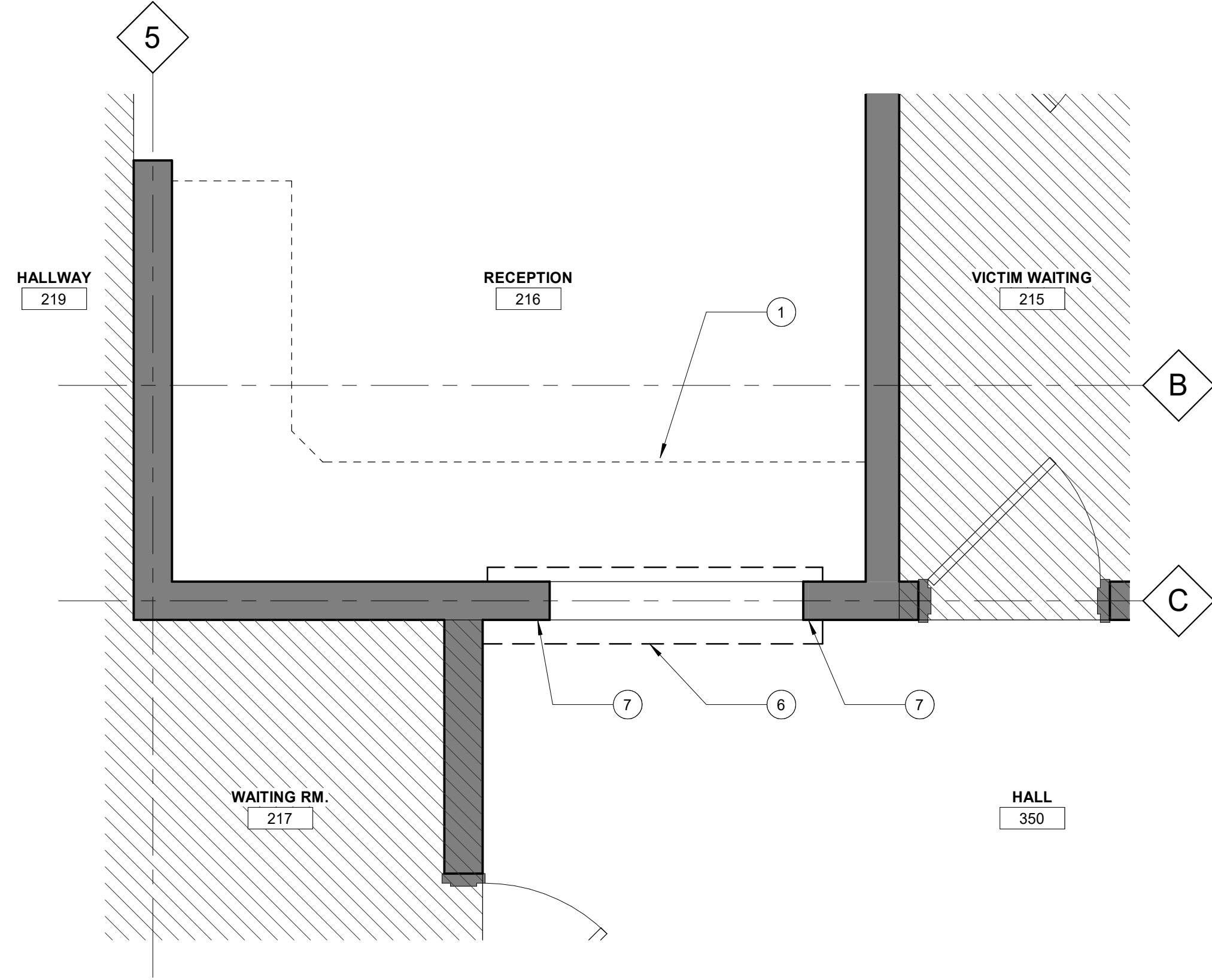
5 COUNTER ELEVATION - RECEPTION SIDE  
1/2" = 1'-0"



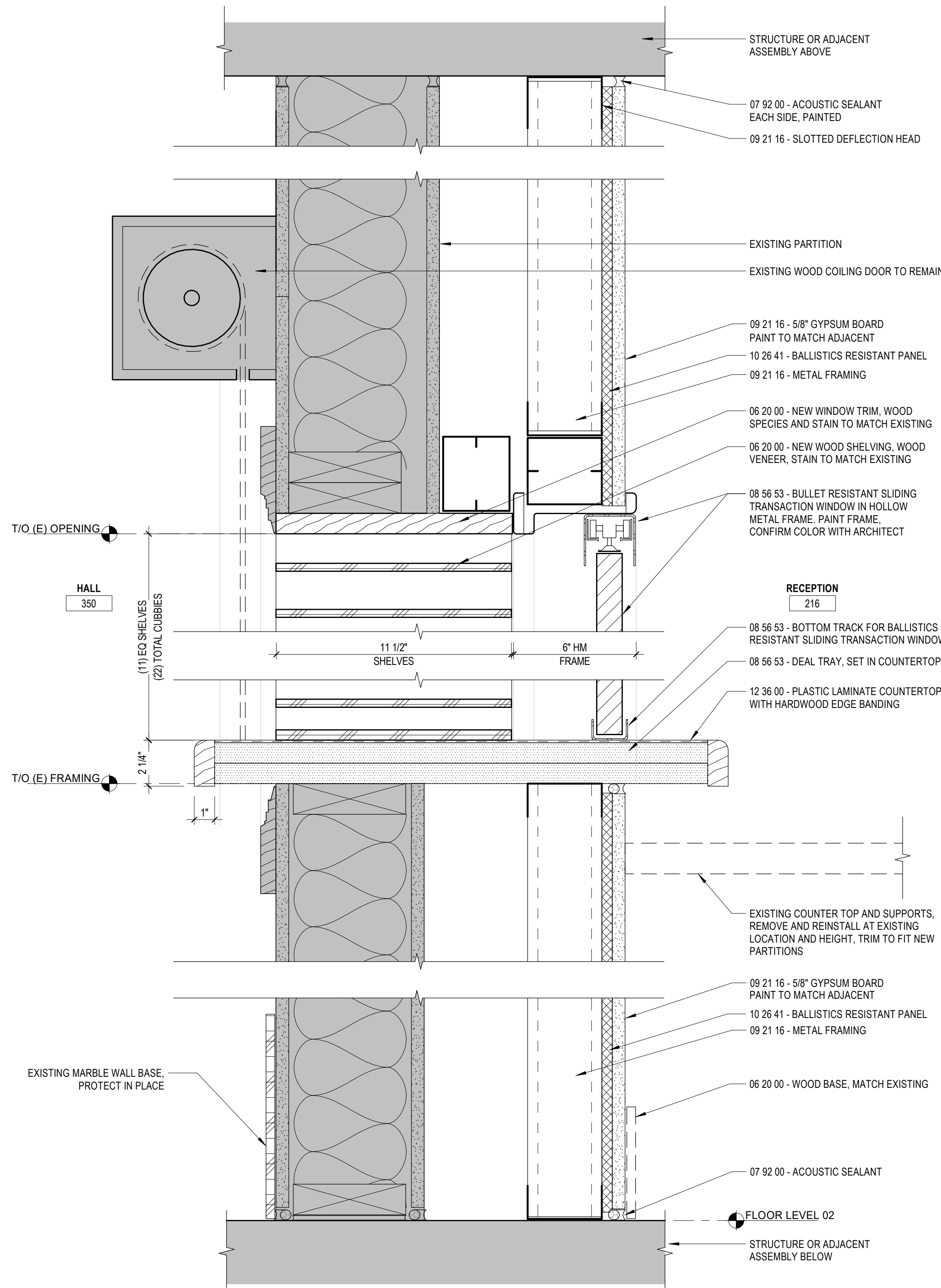
6 COUNTER ELEVATION - OFFICES SIDE  
1/2" = 1'-0"



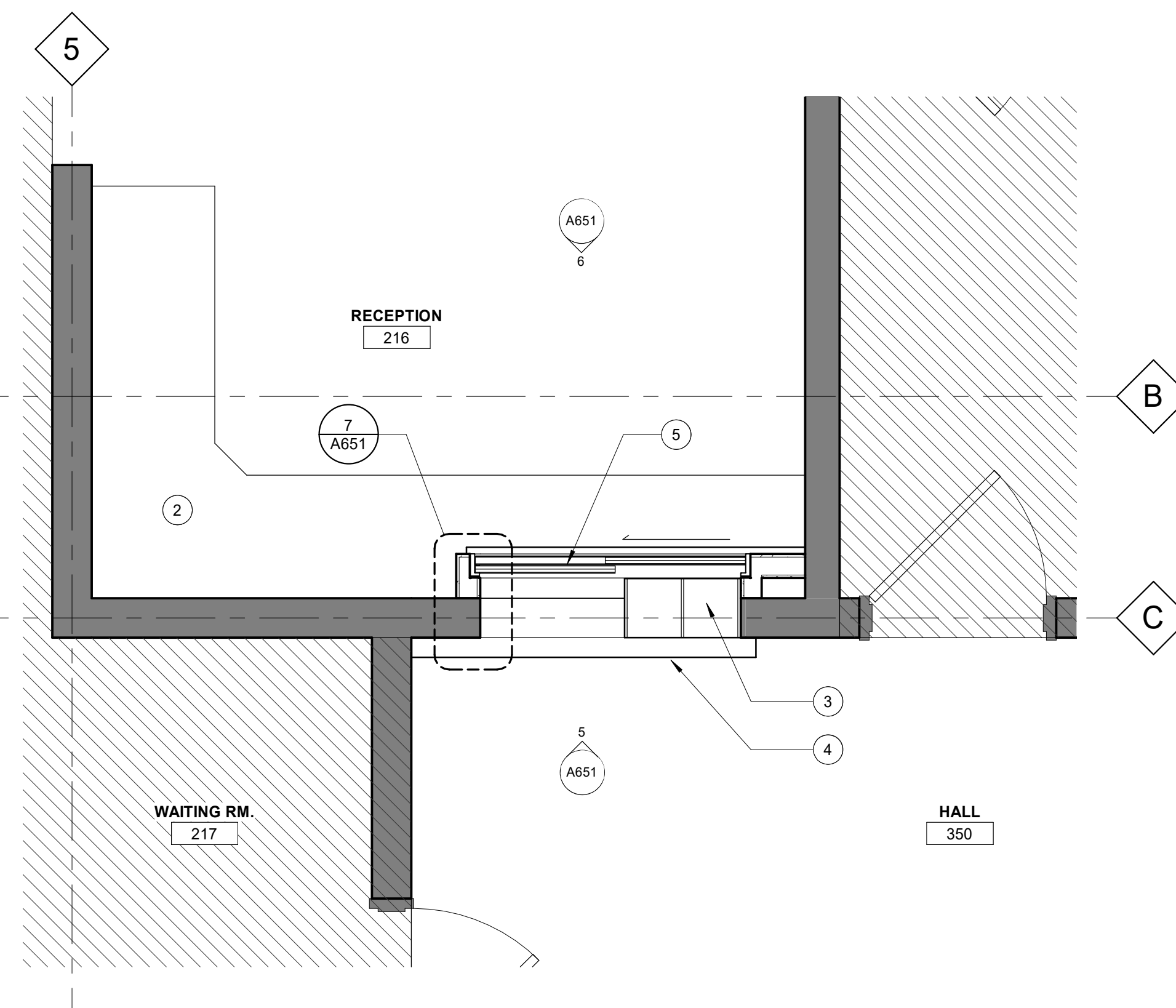
7 BR WINDOW JAMB  
3" = 1'-0"



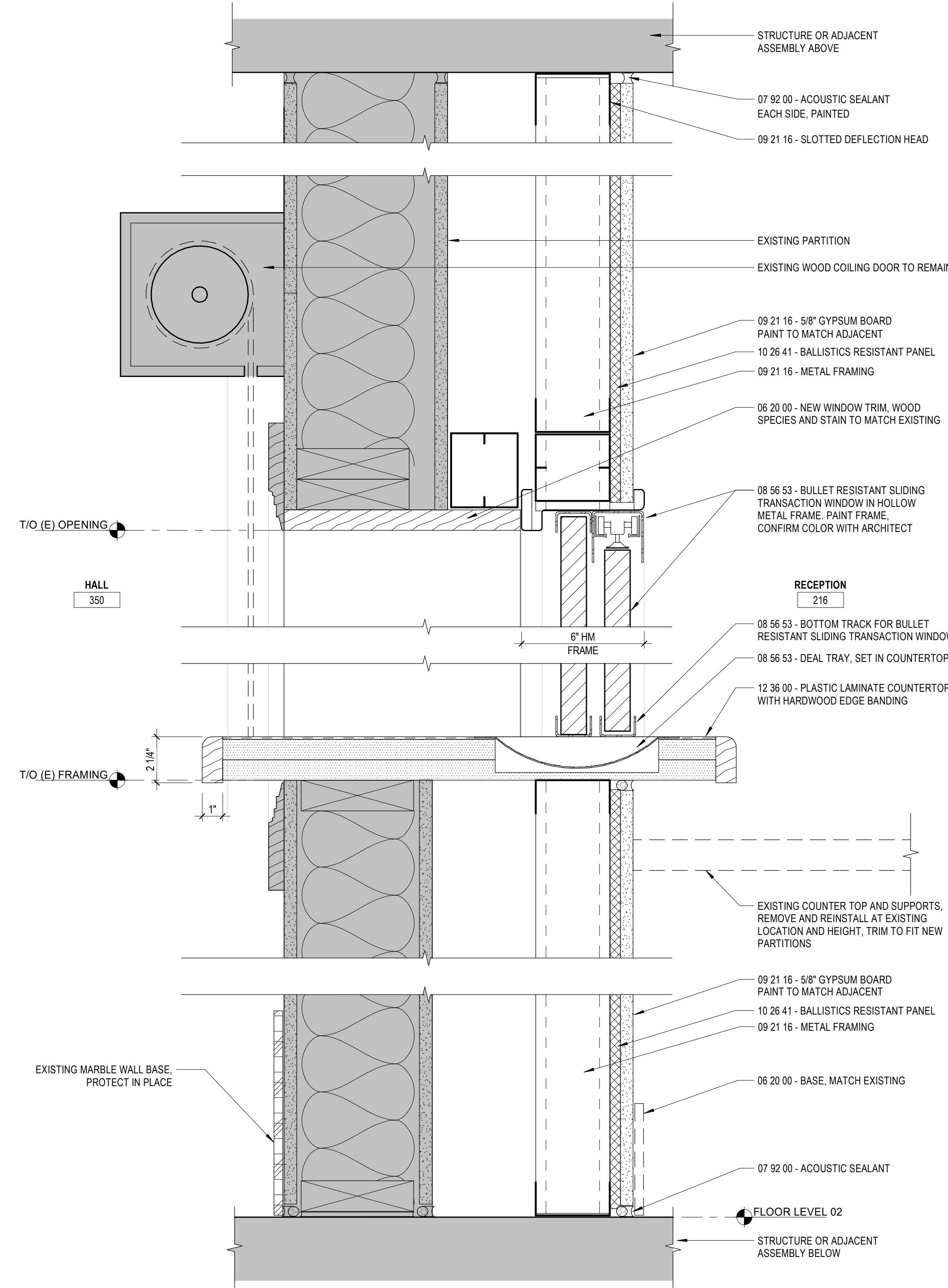
2 DEMO ENLARGED LEVEL 02 RECEPTION  
1/2" = 1'-0"



4 DETAIL - SHELVING AT COUNTER  
3" = 1'-0"



1 ENLARGED FLOOR PLAN - LEVEL 02 RECEPTION  
1/2" = 1'-0"



3 DETAIL - GLAZING AT COUNTER  
3" = 1'-0"

- KEYED NOTES - COMPOSITE PLANS**
- 1 REMOVE EXISTING COUNTERTOP. SALVAGE FOR TRIMMING AND REINSTALLATION AT SAME LOCATION AND HEIGHT
  - 2 REINSTALL EXISTING COUNTER TOP
  - 3 06 20 00 - CUSTOM OPEN SHELVING, SEE ELEVATION AND SECTION
  - 4 COUNTER TOP WITH EDGE BANDING, SEE ELEVATION AND SECTION
  - 5 BULLET-RESISTANT SLIDING TRANSACTION WINDOW WITH DEAL TRAY, SEE SECTION AND ELEVATIONS
  - 6 REMOVE EXISTING UPPER COUNTERTOP, FILE SHELVING, PLEXIGLASS DOORS
  - 7 SALVAGE EXISTING HISTORIC TRIM AT TRANSACTION WINDOW FOR REINSTALLATION





SOUTH ELEVATION



WEST ELEVATION



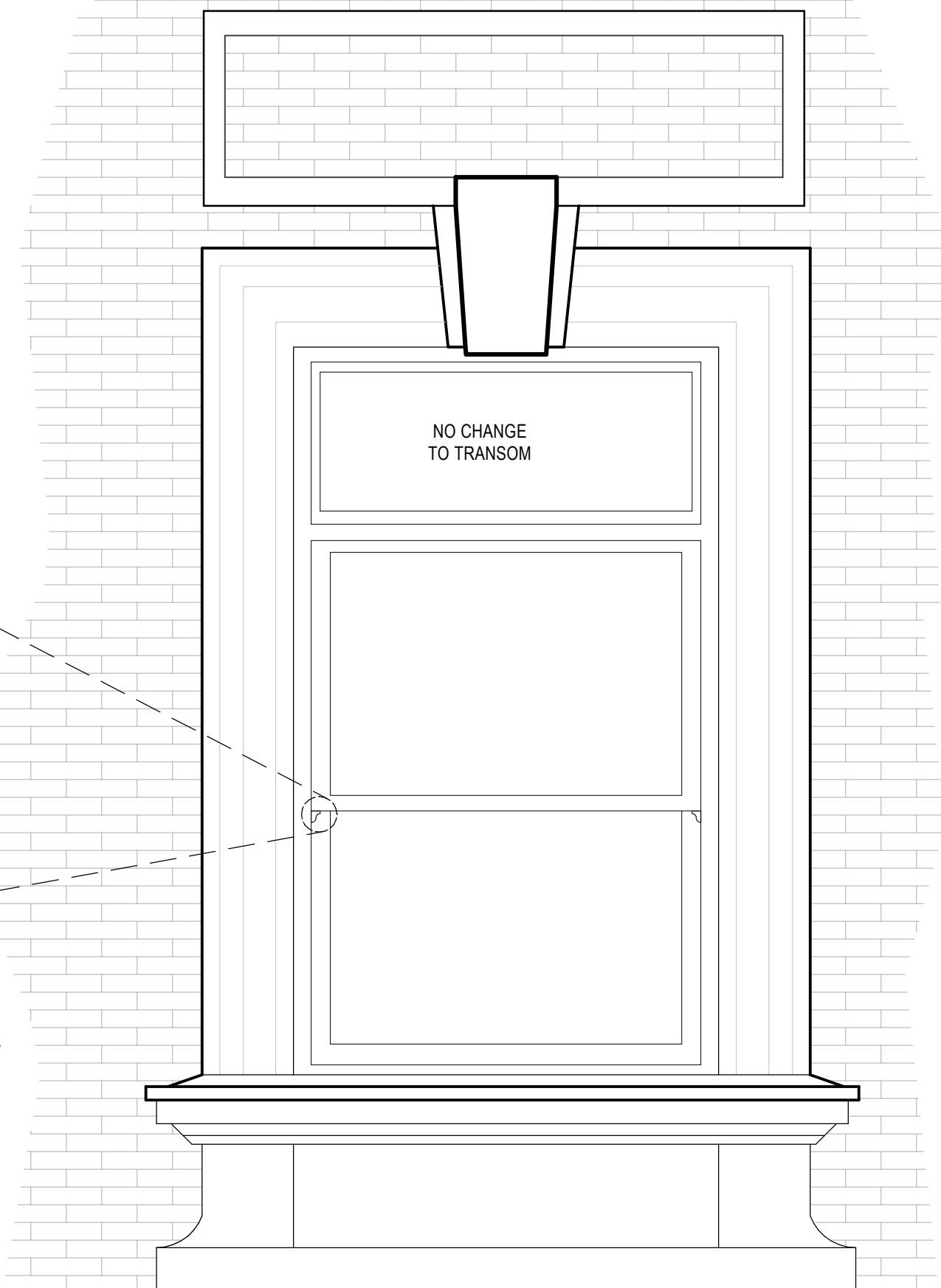
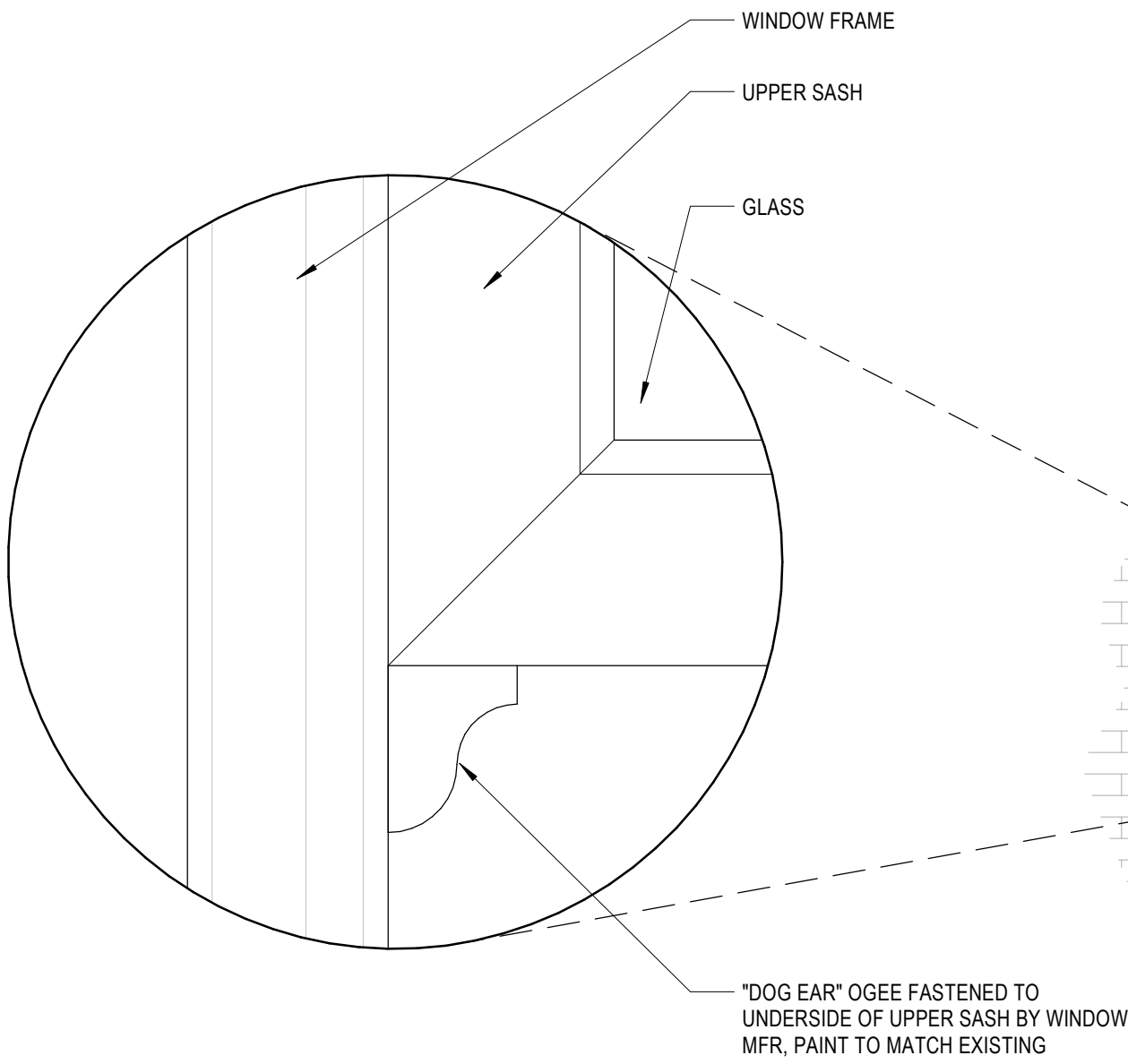
NORTH ELEVATION



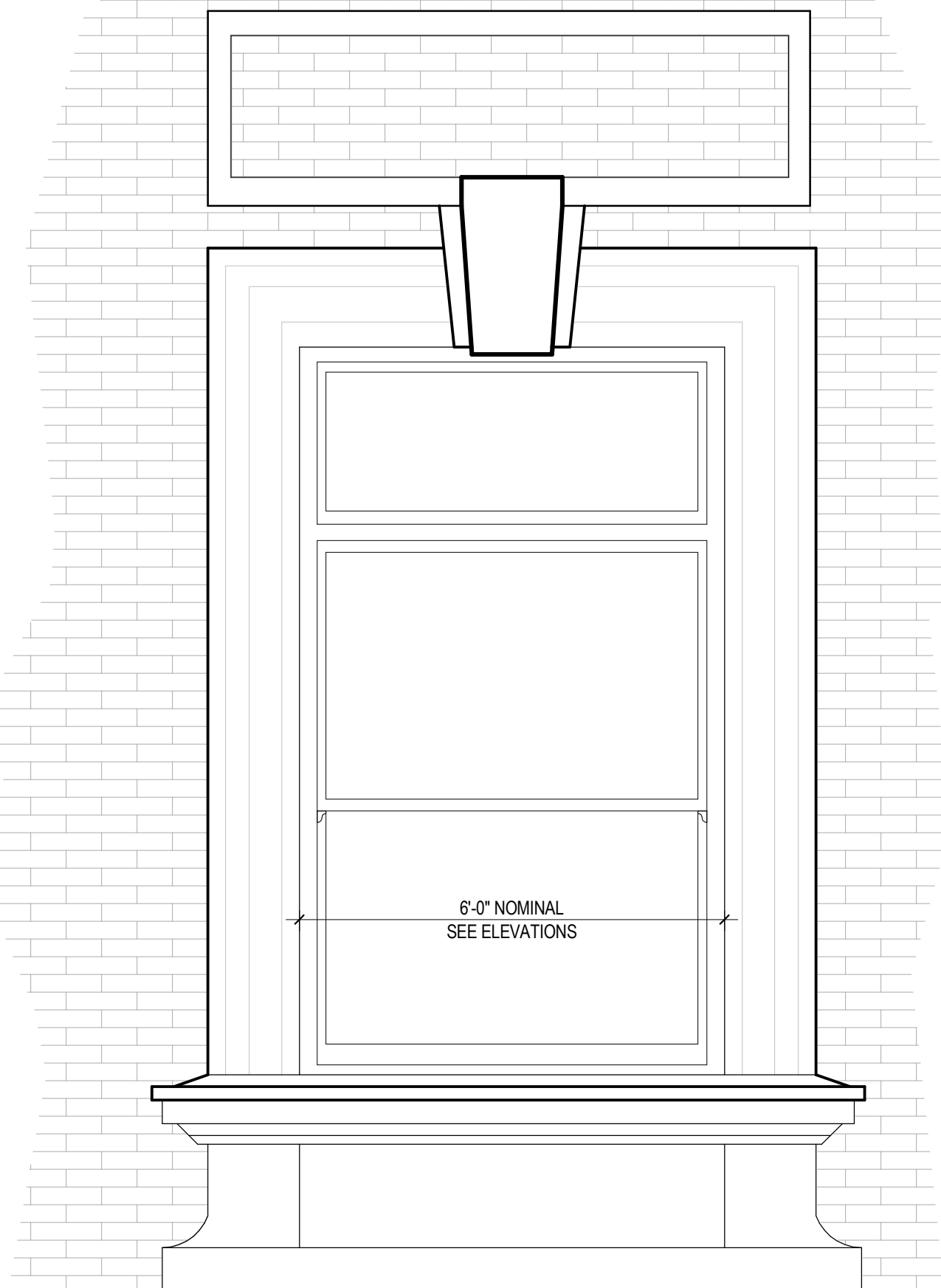
EAST ELEVATION

3 ELEVATIONS - WINDOW REPAIR AND REPLACEMENT REFERENCES

NTS



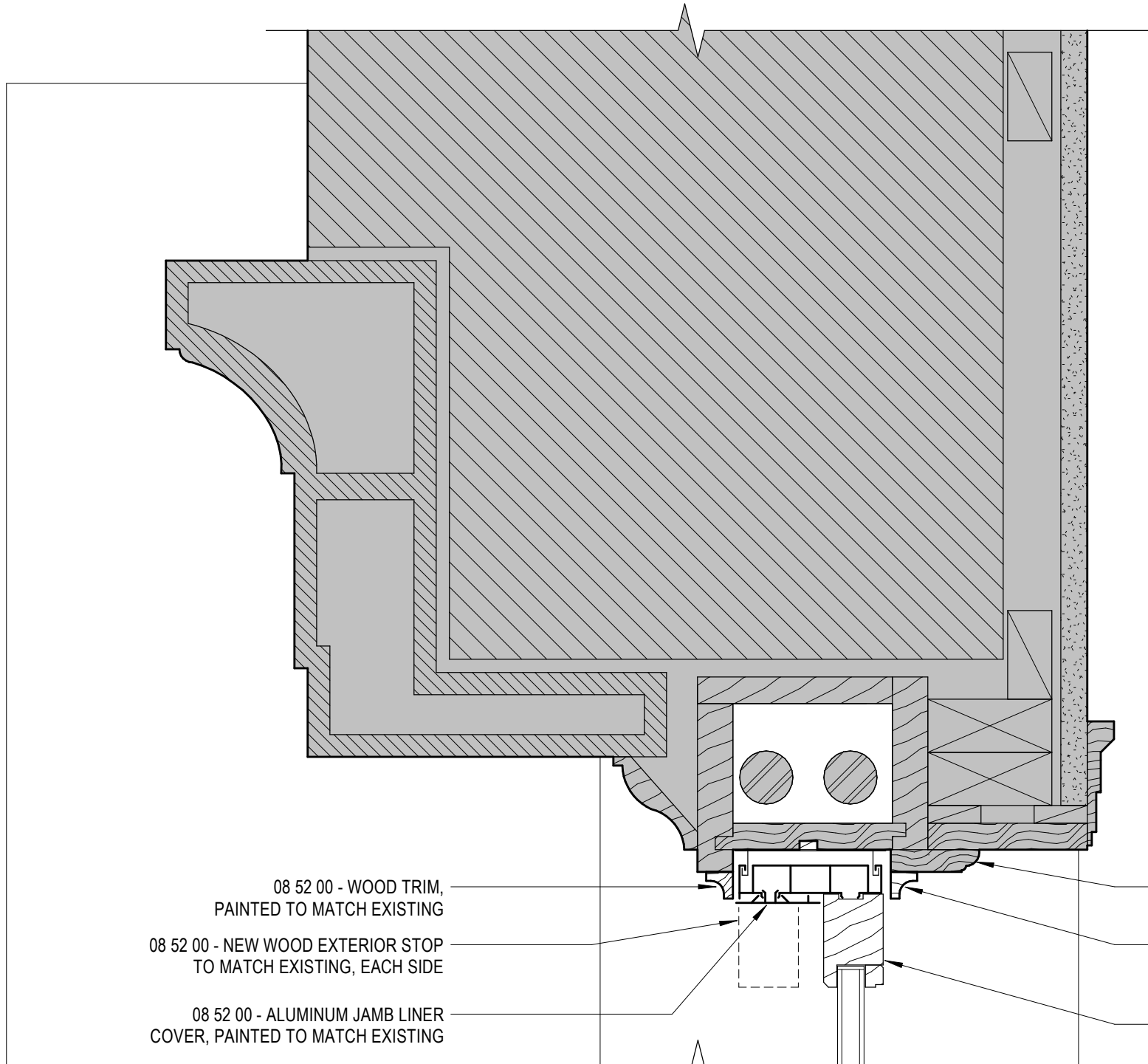
PROPOSED CLEAR AREA  
28.5 SF



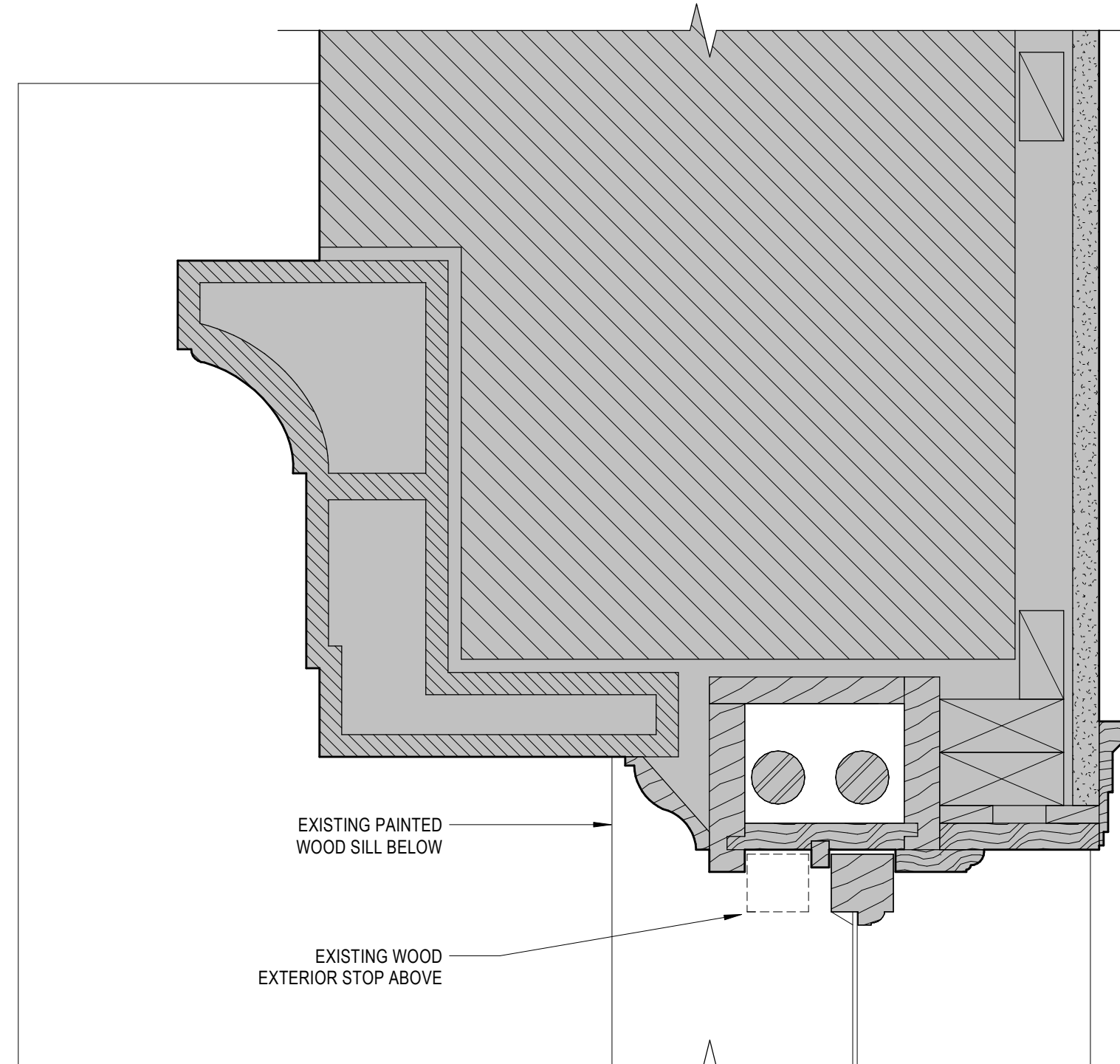
EXISTING CLEAR AREA  
30SF

1 TYPICAL WINDOW ELEVATIONS

1/2" = 1'-0"



PROPOSED JAMB REPLACEMENT



EXISTING JAMB

2 WINDOW JAMB DETAILS

3" = 1'-0"

WINDOW SCHEDULE			
WINDOW NUMBER	NOMINAL SIZE	SCOPE	
S1	6'-0"	1, 2	
S2	6'-0"	1, 2	
S3	4'-0"	1, 2	
S4	4'-0"	1	
S5	6'-0"	1	
S6	6'-0"	1	
W1	6'-0"	1, 5	
W2	6'-8"	1, 5	
W3	6'-0"	1, 2	
N1	6'-0"	1	
N2	6'-0"	1	
N3	4'-0"	1	
N4	4'-0"	1	
N5	6'-0"	1	
N6	6'-0"	1, 5	
E1	6'-0"	4	
E2	5'-0"	1	
E3	5'-0"	1	
E4	6'-0"	1, 5	

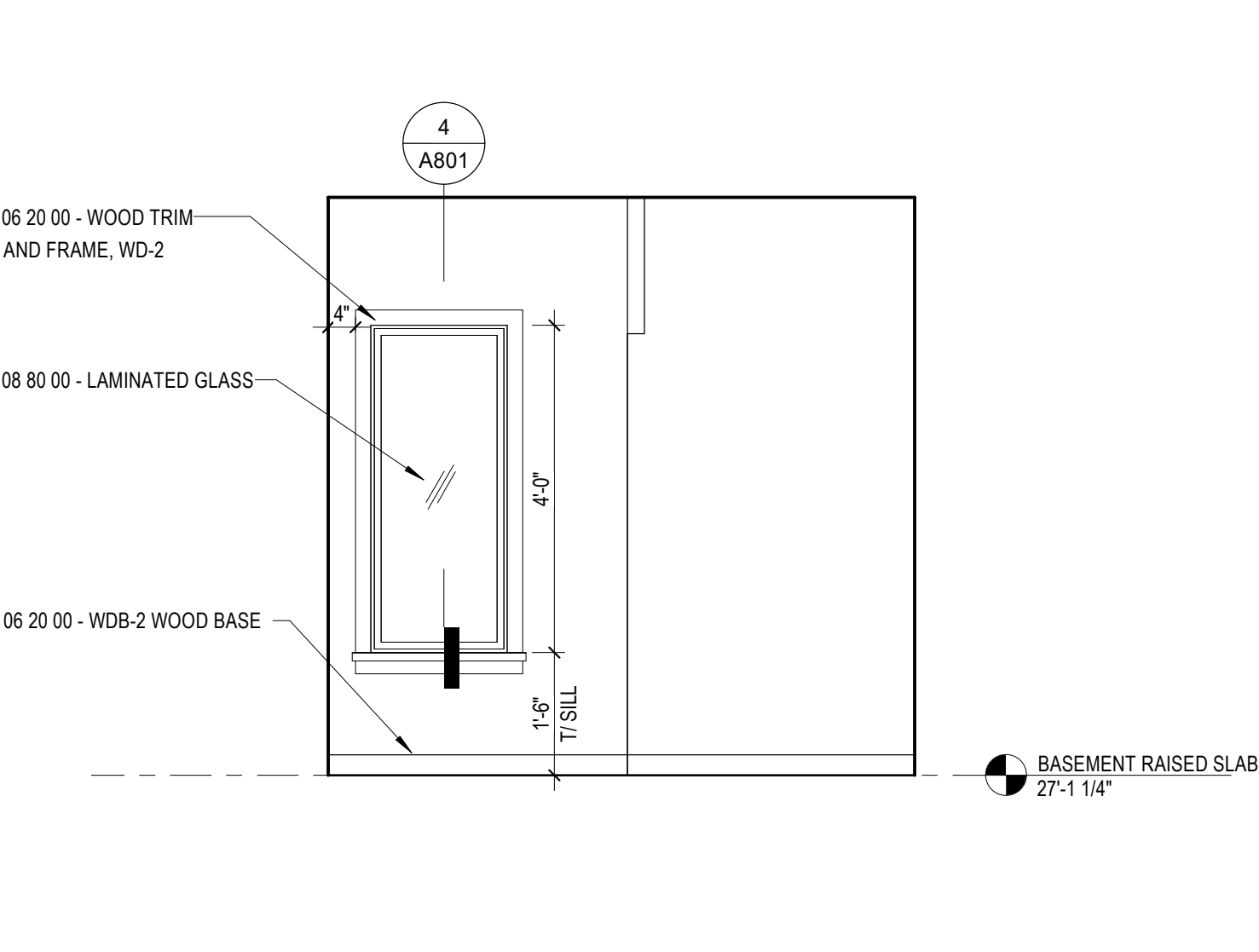
LEGEND - WINDOW REPAIR AND REPLACEMENT	
#	SCOPE
1	REPLACE (E) UPPER AND LOWER SASH AND INSTALL JAMB LINER AS DETAILED ON THIS SHEET.
2	INSTALL PRIVACY FILM TO REPLICATE EXISTING CONDITION.
3	EXISTING OPENING PREVIOUSLY FILLED-IN. NO SCOPE.
4	WINDOW HAS INTERMEDIATE MULLION. REPLACE UPPER AND LOWER SASHES - FOUR (4) SASHES TOTAL.
5	ALTERNATE #4: REPLACE GLASS IN EXISTING INTERIOR BULLET-RESISTANT STORM WINDOW IN KIND. IN ADDITION TO EXTERIOR WINDOW SASH WORK.



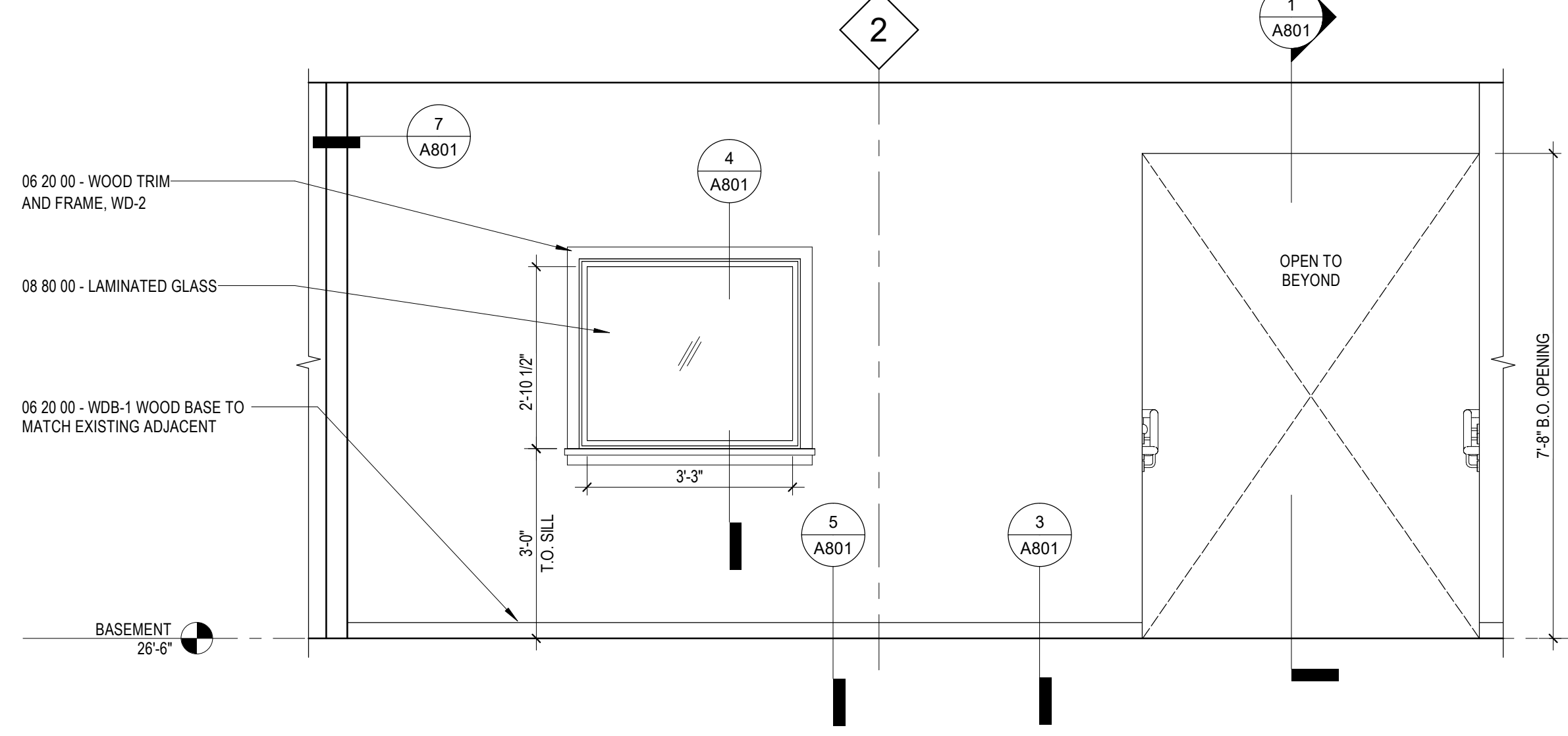
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6/29/2023 10:38:24 AM SERA Design and Architecture, Inc.

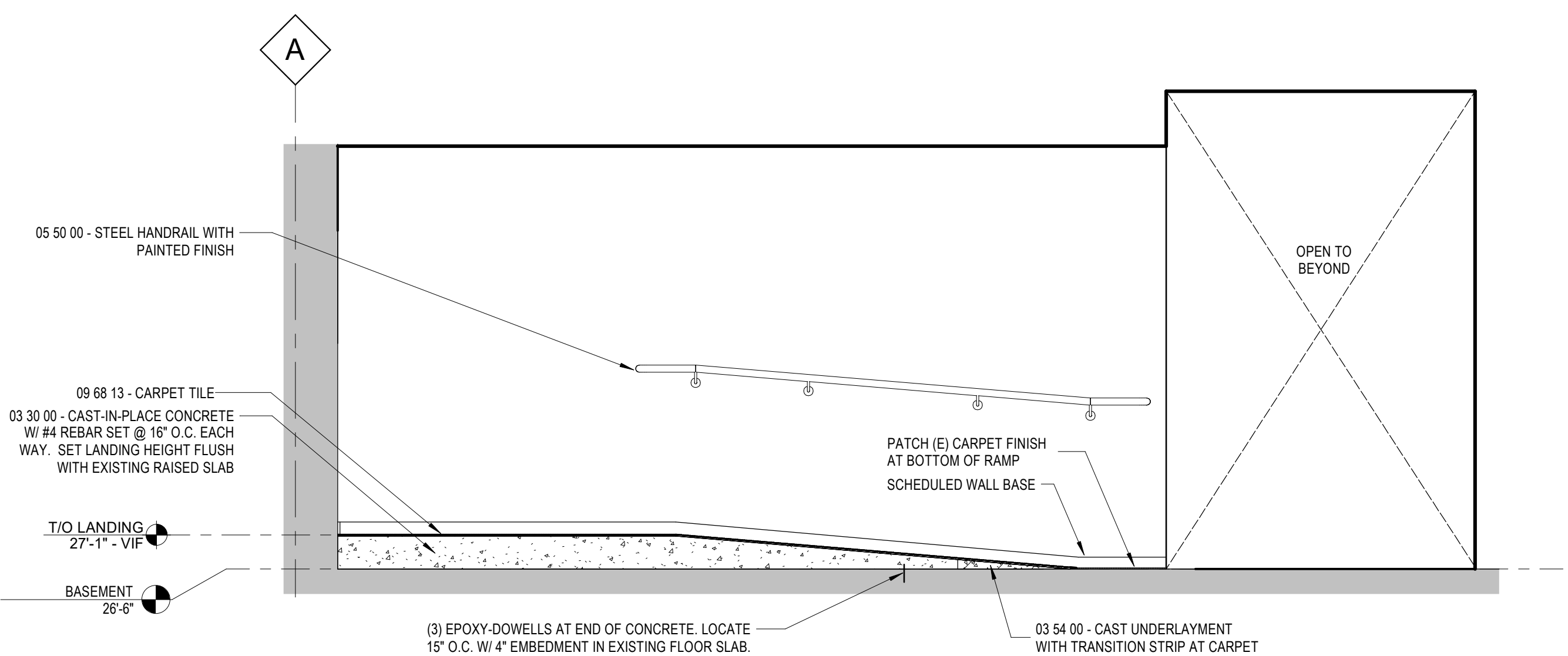
9 ELEVATION - VESTIBULE WINDOW  
1/2" = 1'-0"



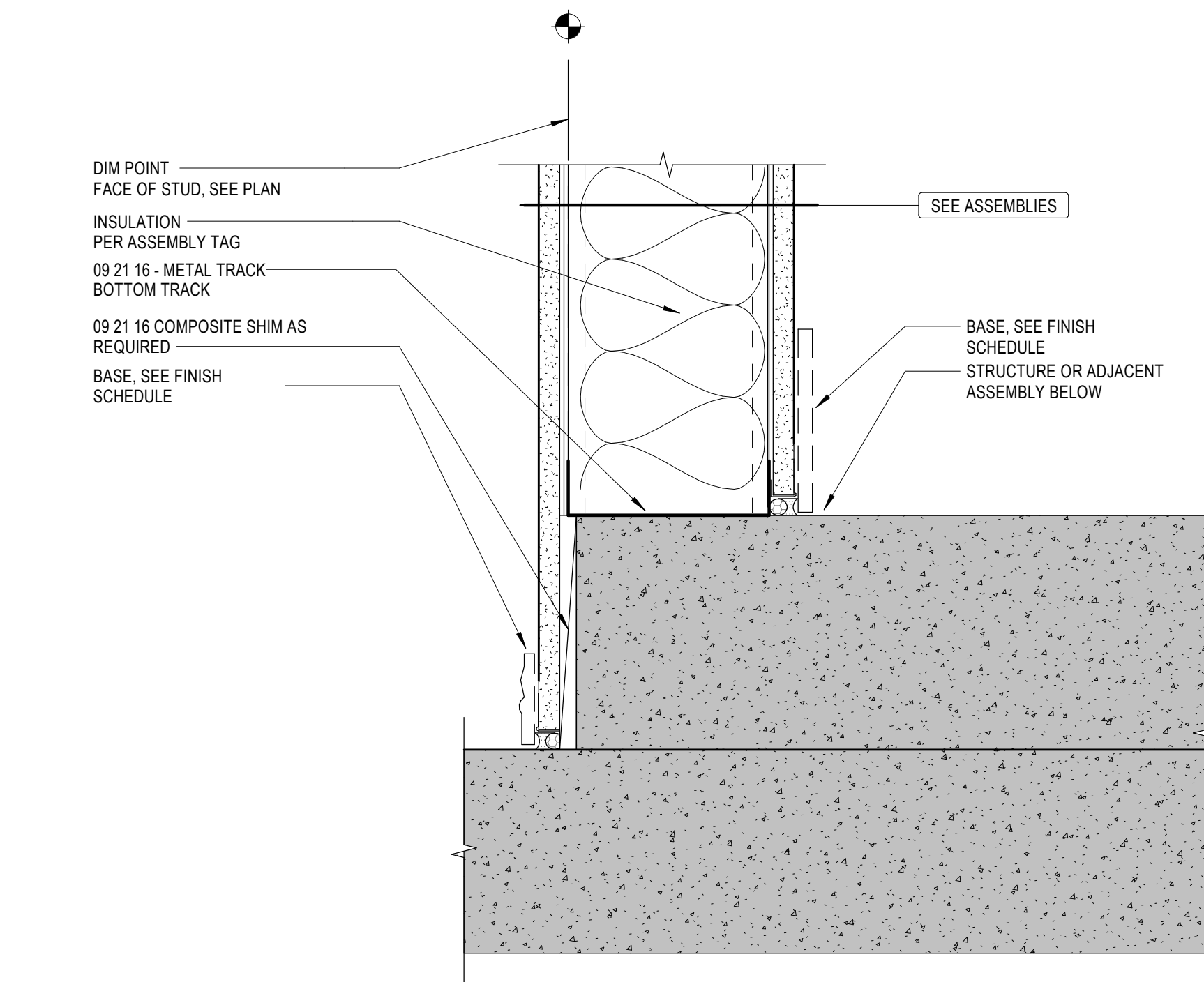
2 ELEVATION - SCREENING ROOM WINDOW AT CORRIDOR  
1/2" = 1'-0"



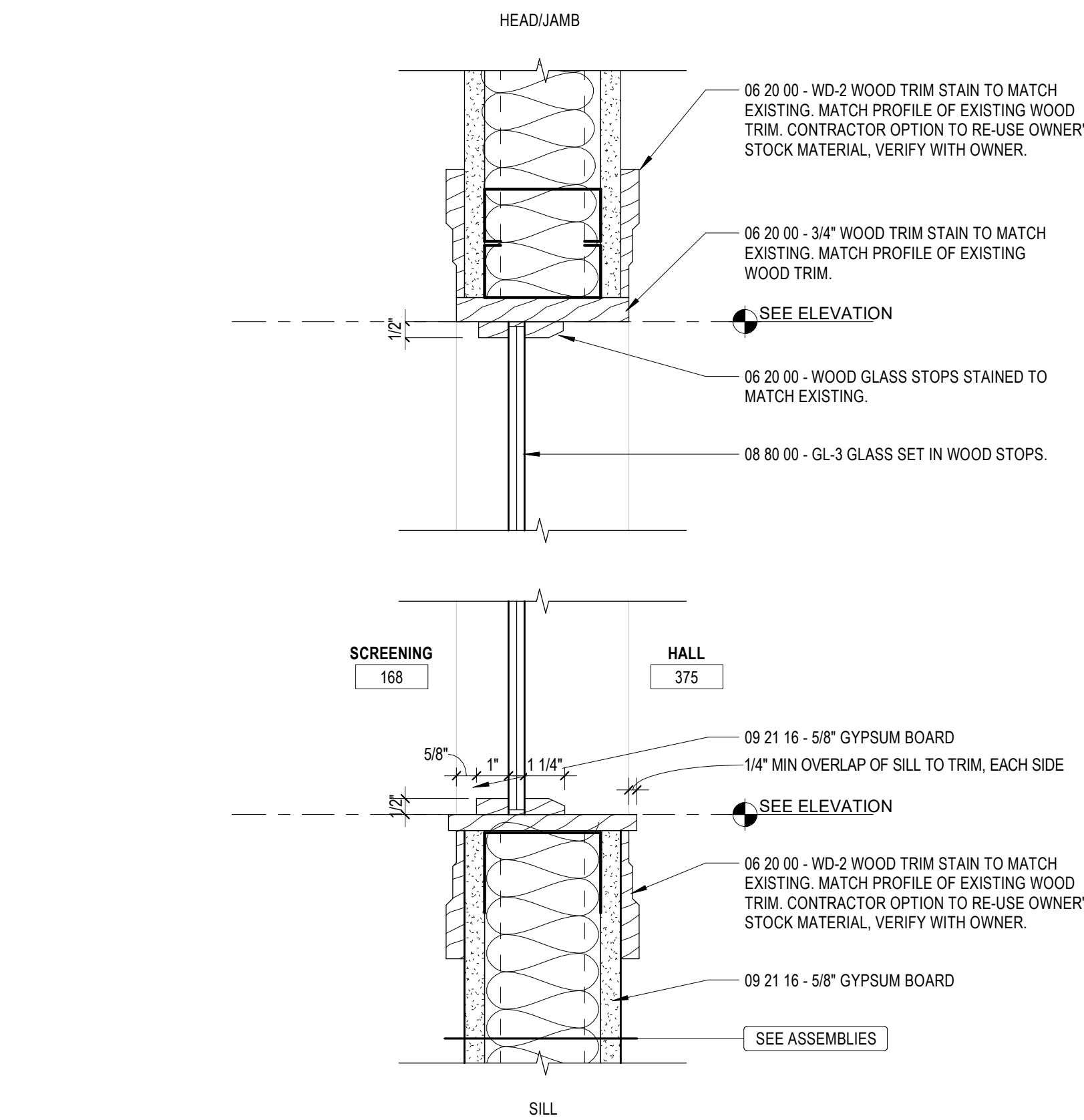
1 SECTION - SCREENING ROOM RAMP  
1/2" = 1'-0"



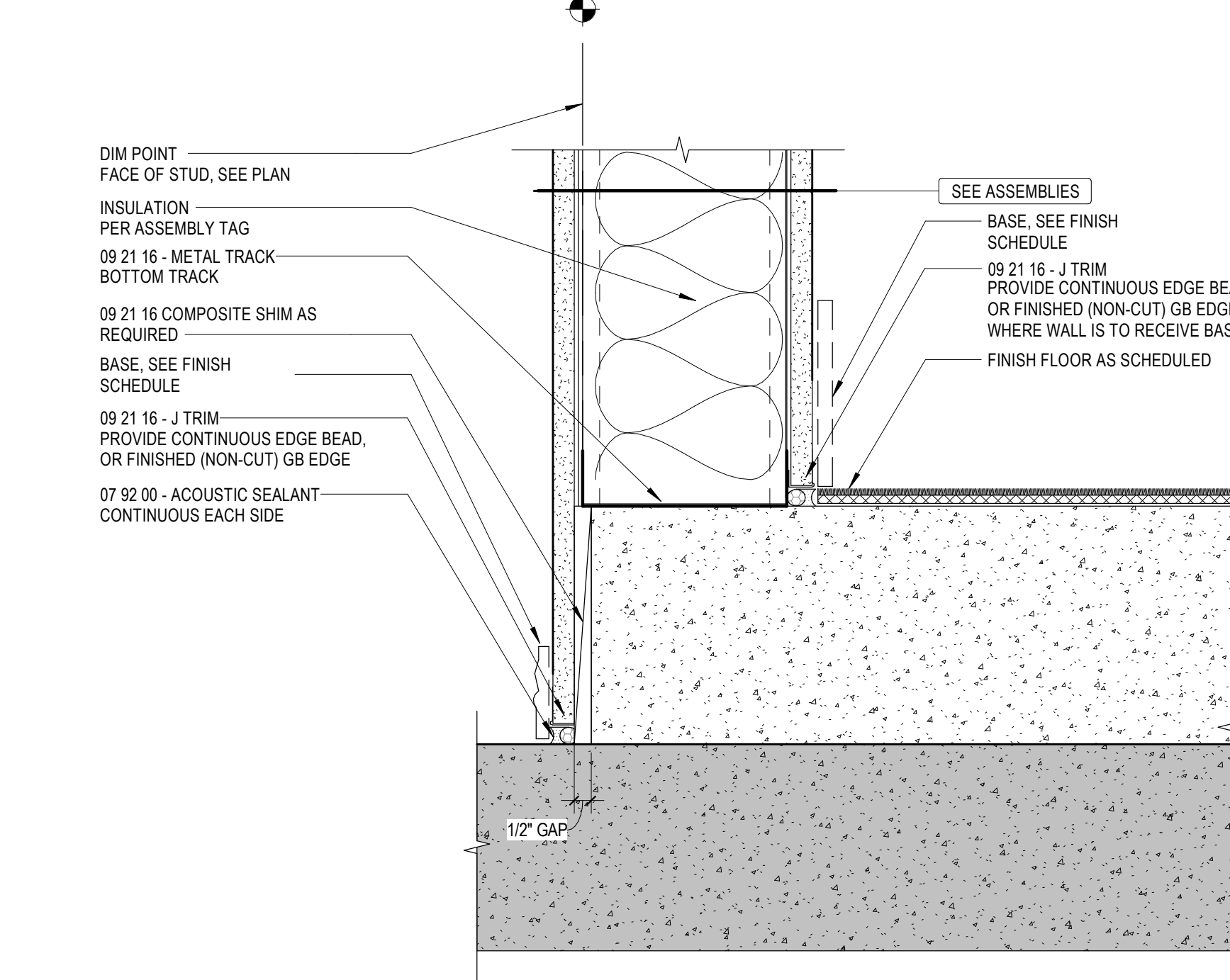
5 SECTION - SCREENING ROOM EXISTING CONDITION  
3" = 1'-0"



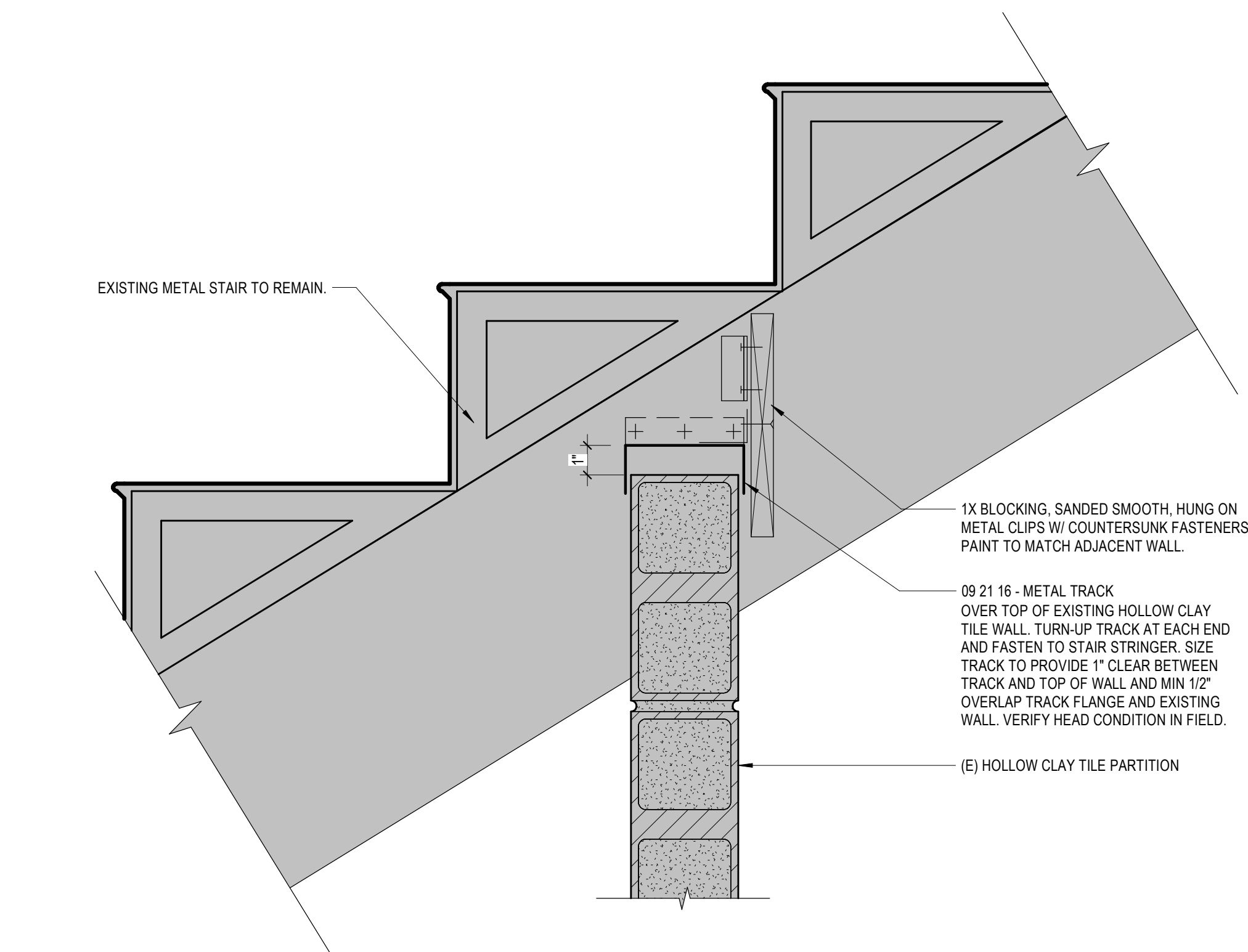
4 SECTION - SCREENING ROOM WINDOW AT CORRIDOR  
3" = 1'-0"



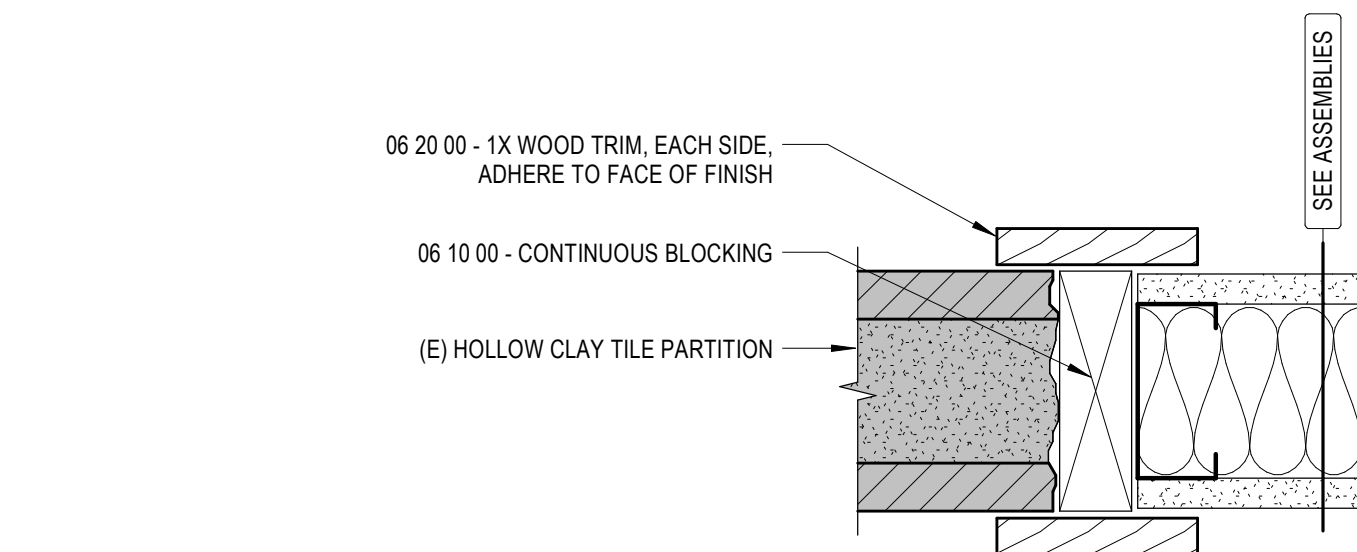
3 SECTION - SLAB EDGE AGAINST METAL FRAMING DETAIL  
3" = 1'-0"



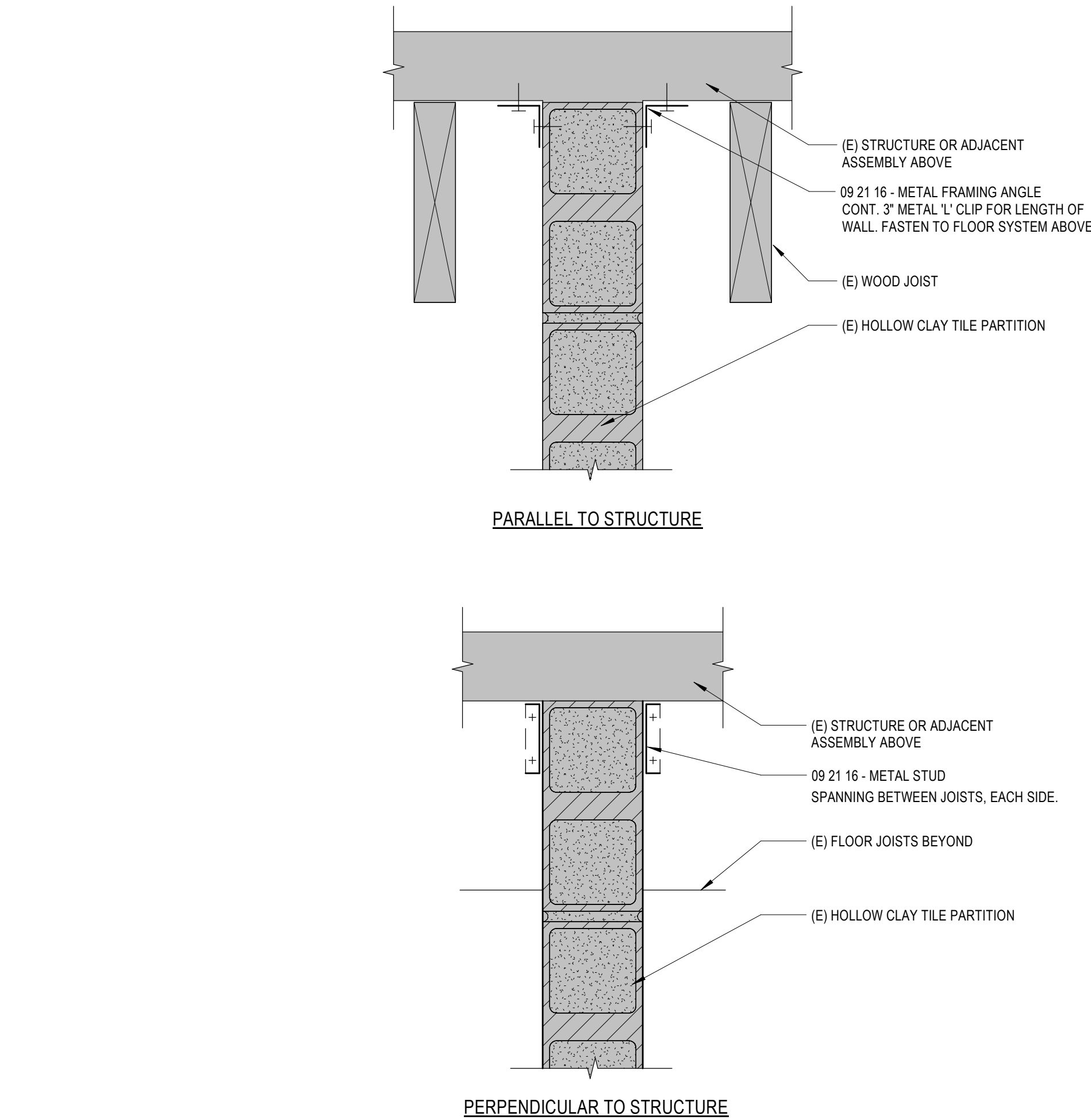
8 SECTION - STAIR AT SCREENING ROOM  
3" = 1'-0"



7 WOOD TRIM AT HCT PARTITION  
3" = 1'-0"



6 SECTION - HTC SUPPORT  
3" = 1'-0"



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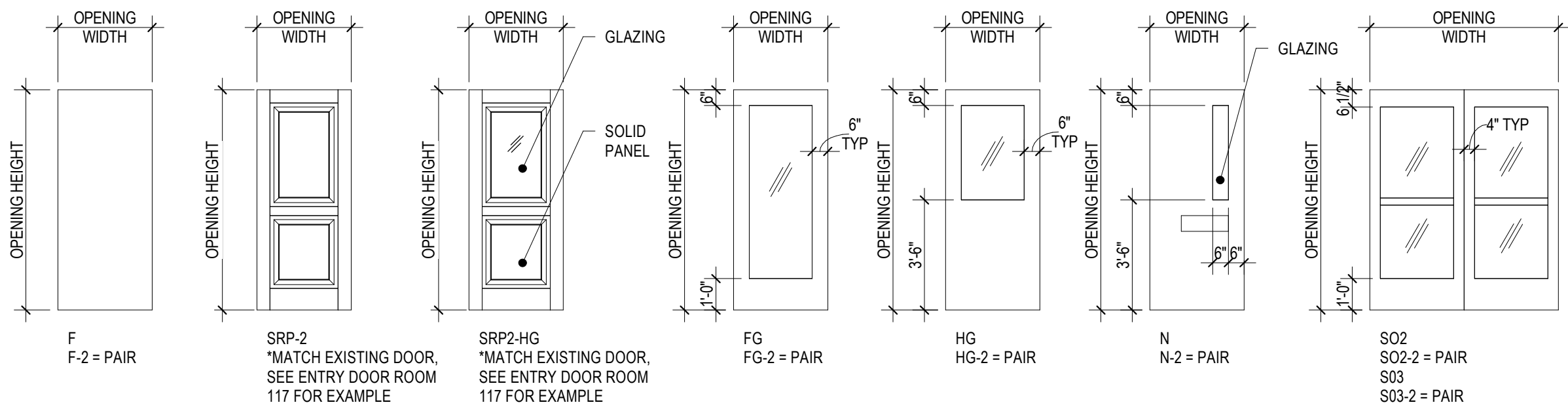
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PROJECT NO: 2101028-2

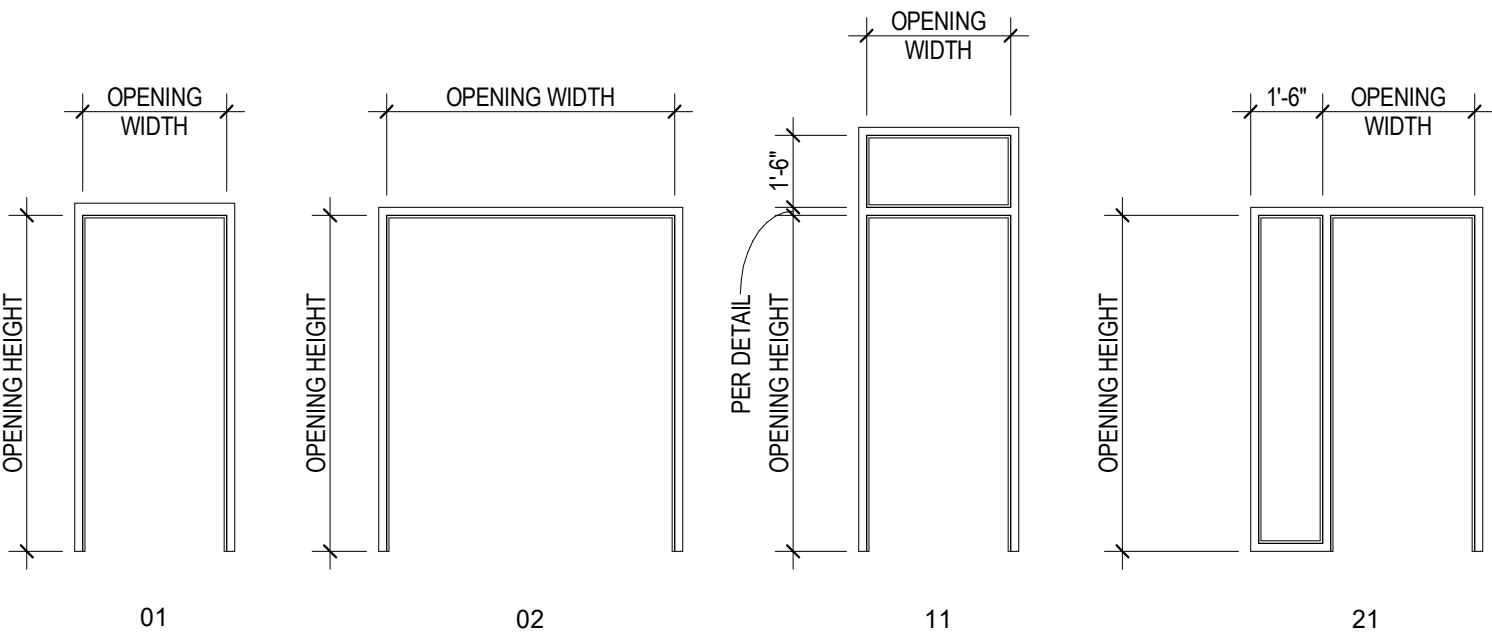
INTERIOR  
DETAILS

A801

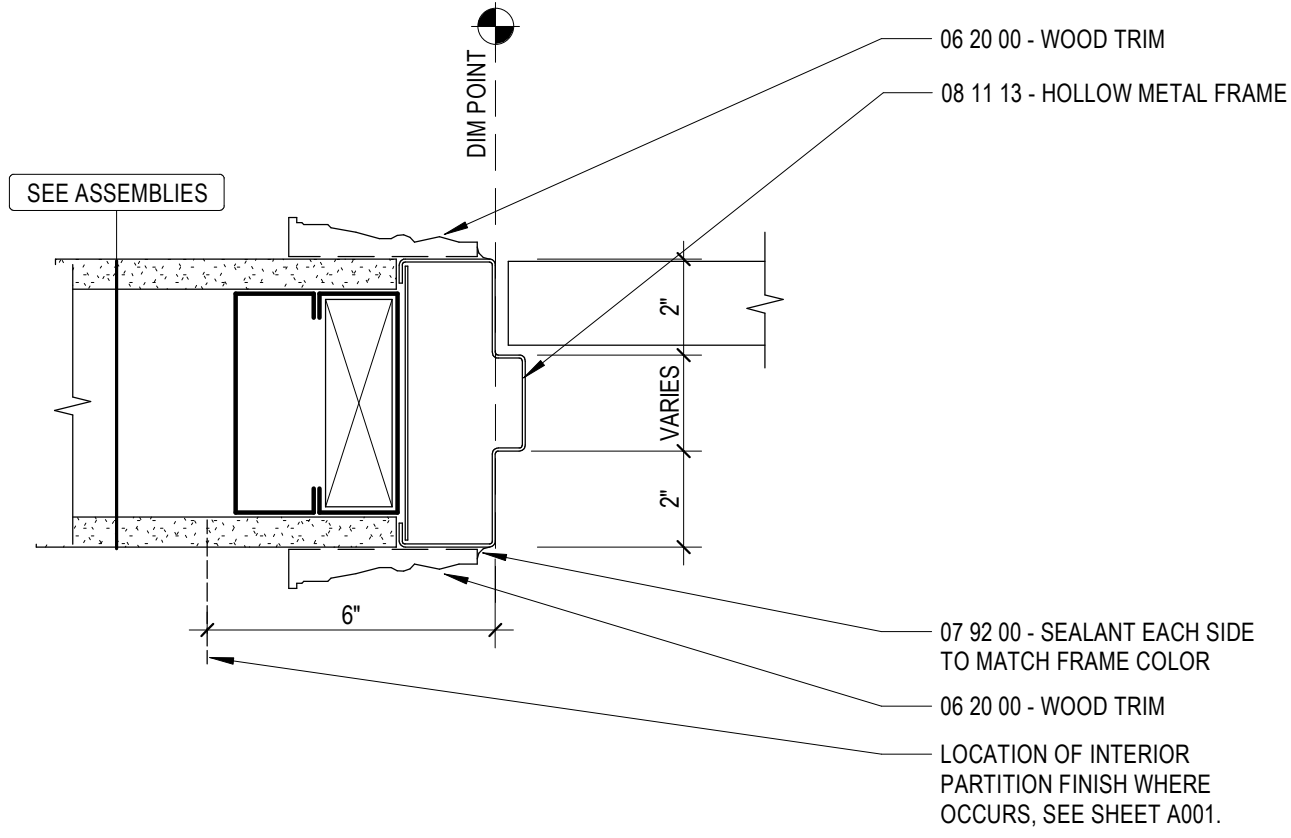
BID SET



1 DOOR TYPE LEGEND  
1/4" = 1'-0"



2 FRAME TYPE LEGEND  
1/4" = 1'-0"



3 HM HEAD / JAMB  
3" = 1'-0"

DOOR OPENING SCHEDULE													
NO	OPENING		RATING (HOURS)	DOOR					FRAME			COMMENTS	
	W	H		TYPE	MATL	FIN	HDWR	GLAZING	TYPE	MATL	FIN		
BASEMENT													
40	3'-0"	7'-0"	---	N	HM	PFN	01	GL-2	01	HM	PFN	SECURITY DOOR AND FRAME, SEE 08 34 53	
50	3'-0"	7'-0"	---	N	HM	PFN	01	GL-2	01	HM	PFN	SECURITY DOOR AND FRAME, SEE 08 34 53	
60	3'-0"	7'-0"	---	N	HM	PFN	01	GL-2	01	HM	PFN	SECURITY DOOR AND FRAME, SEE 08 34 53	
100	3'-0"	7'-0"	---	SRP2	---	WD-2	02	---	01	WD-2	WD-2	NEW DOOR AND HARDWARE IN EXISTING OPENING. CONTRACTOR VERIFY EXISTING OPENING	
117	3'-0"	7'-0"	---	SRP2	SCW	WD-2	03	---	01	WD-2	WD-2	---	
160	3'-0"	7'-0"	---	SRP2-HG	SCW	WD-4	08	GL-2	01	WD-2	WD-2	---	
168	3'-0"	7'-0"	---	SRP2-HG	SCW	WD-4	04	GL-2	01	WD-2	WD-2	---	
185	3'-0"	7'-0"	---	SRP2	SCW	WD-2	05	---	01	WD-2	WD-2	---	
720	3'-0"	7'-0"	---	F	---	---	---	---	01	---	---	RELOCATE EXISTING DOOR, FRAME, TRIM, AND HARDWARE TO EAST WALL OF SAME ROOM	
1432	3'-6"	7'-0"	---	F	---	---	06	---	01	---	---	---	
LEVEL 01													
E100	6'-0"	7'-0"	---	F	---	---	07	---	01	---	---	EXISTING DOORS AND FRAME TO REMAIN. HARDWARE INCLUDED FOR ALTERNATE #2	

ROOM FINISH SCHEDULE													
NUMBER	ROOM	NAME	FINISH	FLOOR		WALLS						CEILING	NOTES
				BASE	NORTH	EAST	SOUTH	WEST					
40	HOLDING	FAF-1	FAF-1	EP-1	EP-1	EP-1	EP-1	EP-1	G8	EP-1			
50	HOLDING	FAF-1	FAF-1	EP-1	EP-1	EP-1	EP-1	EP-1	G8	EP-1			
51	CORRIDOR	CPT-1	WDB-2	P-1	P-1	P-1	P-1	P-1	ACT-1				
60	HOLDING	FAF-1	FAF-1	EP-1	EP-1	EP-1	EP-1	EP-1	G8	EP-1			
100	OFFICE	CPT-1	WDB-2	P-1	P-1	P-1	P-1	P-1	ACT-1				
135	HALL	CPT-1	WDB-1	-	P-1	P-1	P-1	P-1	ACT-1				
160	VESTIBULE	CPT-1	WDB-2	P-1	P-1	P-1	P-1	P-1	ACT-1				
168	SCREENING	WOM-1	WDB-2	P-1	P-1	P-1	P-1	P-1	ACT-1				
185	CONF.	CPT-1	WDB-2	P-1	P-1	P-1	P-1	P-1	EXISTING				
375	HALL	CPT-1	WDB-1	EXISTING	EXISTING	P-1	EXISTING	EXISTING				NEW FINISHES ONLY AS REQUIRED FOR NEW WORK.	
720	WAITING	EXISTING	WDB-1	EXISTING	P-1	P-1	EXISTING	EXISTING					

SCHEDULE OF FINISHES						
NAME	DESCRIPTION	PRODUCT	SPEC SECTION	MANUFACTURER	MODEL/STYLE	COMMENTS
WD-1	INTERIOR WOOD TRIM	HISTORIC WOOD TRIM	06 20 00	-	-	SEE EXISTING PROFILED WOOD BASE IN HALL 375 FOR EXAMPLE TO MATCH.
WD-2	INTERIOR WOOD TRIM	STANDARD WOOD TRIM	06 20 00	-	STAINED OAK	FINISH FOR NEW DOOR VENEER, SOLID WOOD TRIM AND BASE. SEE EXISTING DOOR 117 FOR EXAMPLE TO MATCH.
WDB-1	WOOD BASE	PROFILED 3" SOLID-WOOD BASE	06 20 00	-	WD-1 FINISH	MATCH EXISTING HISTORIC BASE. CONTRACTOR'S OPTION TO COORDINATE WITH OWNER TO USE OWNERS STOCK MATERIALS.
WDB-2	WOOD BASE	PROFILED SOLID-WOOD BASE	06 20 00	-	WD-2 FINISH	
WD-4	FLUSH WOOD DOOR FINISH	STAINED WOOD DOOR	08 17 23	-	-	WOOD DOORS TO MATCH EXISTING FINISH
GF-1	GLAZING PRIVACY FILM	TRANSLUCENT WINDOW FILM	08 80 00	3M	FASARA - SH2MAM "MILKY WHITE"	
GL-1	INSULATED GLAZING UNIT	PRODUCT DESCRIPTION	08 80 00	SEE 08 80 00	-	
GL-2	SAFETY GLAZING	PRODUCT DESCRIPTION	08 80 00	SEE 08 80 00	1/4" TEMPERED	
GL-3	LAMINATED GLASS - 2 PLY	PRODUCT DESCRIPTION	08 80 00	SEE 08 80 00	1/2" LAMINATED, TEMPERED	SCREENING ROOM INTERIOR WINDOW
ACT-1	LAY-IN CEILING TILE	ACOUSTIC CEILING TILE	09 61 00	ARMSTRONG	-	MATCH EXISTING CEILING TILE
FAF-1	HOLDING ROOM FLOORING	FLUID APPLIED EPOXY FLOORING	09 67 00	SHERWIN WILLIAMS	RESUFLO TOPFLOR SL23	COLOR TO BE SELECTED BY ARCHITECT
CPT-1	TYPICAL CARPET TILE	18x36 CARPET TILE	09 68 00	J&J FLOORING	STRATA PLANK "LITHIC" 1849	MATCH LAYOUT PATTERN OF EXISTING CARPET TILE FLOORING
EP-1	HOLDING ROOM WALL FINISH	EPOXY PAINT	09 90 00	SHERWIN WILLIAMS	RESUWALL AQUA FR	COLOR TO BE SELECTED BY ARCHITECT
P-1	INTERIOR PAINT	LOW VOC INTERIOR PAINT	09 90 00	SHERWIN WILLIAMS	-	MATCH EXISTING INTERIOR PAINT COLOR
WOM-1	SOUTH ENTRY WALK OFF MAT	ENTRY TILE FLOORING	12 48 13	KINETEX	RUNWAY II WALK-OFF MODULAR "UMBER CHIC" 1418	SEE PLANS FOR EXTENTS



WDB-1 WOOD BASE REFERENCE IN HALL 375



SRP-2 DOOR REFERENCE AT ROOM 117  
WD-2 WOOD TRIM REFERENCE AT ROOM 117  
WDB-2 WOOD BASE REFERENCE AT ROOM 117

GENERAL NOTES - DOOR SCHEDULE

- A. DOOR SCHEDULE KEYED NOTES APPLY TO A800 SERIES SHEETS ONLY. ALL KEYED NOTES MAY NOT OCCUR ON THIS SHEET AND DO NOT APPLY TO ANY OTHER SHEETS EXCEPT THOSE NOTED.
- B. PROVIDE SAFETY GLAZING PER 08 80 00 WHERE REQUIRED BY BUILDING CODE.
- C. ALL GLASS IN RATED ASSEMBLIES TO BE 08 80 00 FIRE RATED GLASS, UNO.
- D. EXISTING DOOR HEIGHT, WIDTH AND HARDWARE TO BE VERIFIED IN FIELD.

DOOR OPENING SCHEDULE CODES

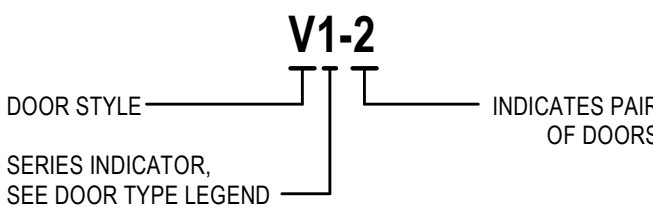
SCHEDULE CODES

NO	DOOR NUMBER
RATING	FIRE RATED ASSEMBLY LISTED AND LABELED AS INDICATED
TYPE	DOOR OR FRAME TYPE. SEE TYPE LEGEND THIS SHEET
MATL	DOOR OR FRAME MATERIAL CODE. SEE BELOW
FIN	DOOR OR FRAME FINISH. SEE SCHEDULE OF FINISHES
HDWR	HARDWARE GROUP PER SECTION 08 71 00
DETAIL	PER DRAWING NUMBER ON SHEET NUMBER INDICATED

MATERIAL CODES:

AE	AUTOMATIC ENTRANCES PER SECTION 08 42 20
AG	ALL-GLASS ENTRANCES AND STOREFRONTS PER SECTION 08 41 26
AL	ALUMINUM-FRAMED ENTRANCES PER SECTION 08 43 13
FD	FOLDING DOORS PER SECTION 08 35 13
FG	FIBERGLASS DOORS AND FRAMES PER SECTION 08 16 13
GTL	DECORATIVE METAL FENCES AND GATES PER SECTION 32 31 19
GT	PRE-HUNG WOOD DOORS PER SECTION 08 17 23
HCM	HOLLOW METAL DOORS AND FRAMES PER SECTION 08 11 13
LS	SEE LANDSCAPE DRAWINGS
MCW	METAL CLAD WOOD DOORS AND FRAMES PER SECTION 08 14 53
MW	MOLDED MDF WOOD DOORS PER SECTION 08 14 26
OCD	OVERHEAD COILING DOORS PER SECTION 08 33 23
OCC	OVERHEAD COILING GRILLE PER SECTION 08 33 28
PFN	PRE-FINISHED HOLLOW METAL FRAMES PER SECTION 08 12 14
SCD	SOUND CONTROL DOOR ASSEMBLIES PER SECTION 08 34 73
SCW	WOOD DOORS PER SECTION 08 14 16
SD	SECTIONAL DOORS PER SECTION 08 36 13
SPW	SLIDING AND FOLDING GLAZED WALLS AND DOORS PER SECTION 08 32 23
SG	SAFETY GLAZING PER SECTION 08 80 00
SGD	SLIDING GLASS DOORS PER SECTION 08 32 00
SFD	SLIDING PANEL DOORS PER SECTION 08 36 16
SRW	STILE AND RAIL WOOD DOORS PER SECTION 08 14 33
TD	TRAFFIC DOORS PER SECTION 08 38 00
VIN	VINYL DOORS AND FRAMES PER SECTION 08 15 10
VLD	MULTI-LEAF VERTICAL LIFT DOORS PER SECTION 08 36 19

DOOR TYPE CODE - KEY



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DOOR, ROOM, &  
FINISH  
SCHEDULES  
A902

BID SET



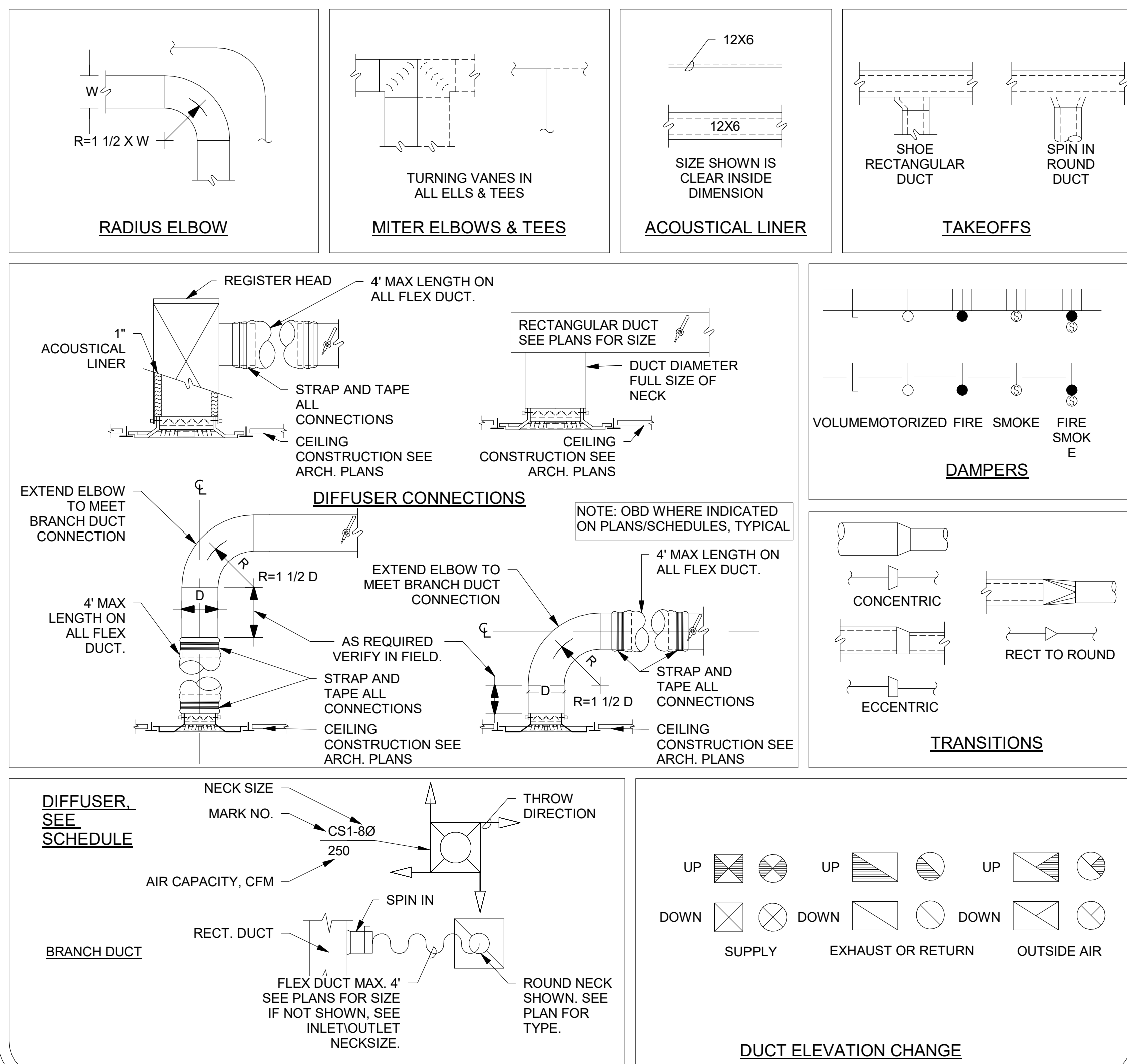
## HVAC LEGEND

THIS LEGEND REFLECTS THE GENERALLY USED SYMBOLS BY CUNDIFF ENG. SOME SYMBOLS SHOWN ON THIS LEGEND MAY NOT BE REFLECTED ON THE DRAWINGS.

DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL
STEAM LOW PRESSURE		PIPE LINE BREAK	
RETURN (CONDENSATE) LOW PRESSURE		PIPE ELBOW UP	
PUMP (CONDENSATE) RETURN		PIPE ELBOW DOWN	
GAS (STND. PRESSURE)		TEE	
GAS (2 psi)		TEE UP ELBOW	
STEAM HIGH PRESSURE		TEE UP	
RETURN (CONDENSATE) HIGH PRESSURE		TEE DOWN ELBOW	
HEATING WATER SUPPLY		TEE DOWN	
HEATING WATER RETURN		UNION	
CHILLED WATER SUPPLY		PRESSURE REGULATOR	
CHILLED WATER RETURN		GATE VALVE	
CONDENSING WATER SUPPLY		BALL VALVE	
CONDENSING WATER RETURN		GLOBE VALVE	
FUEL OIL SUPPLY		BUTTERFLY VALVE	
FUEL OIL RETURN		CHECK VALVE	
FUEL OIL VENT		STRAINER	
VAPOR VENT		PIPE CAP	
ROOM THERMOSTAT		SOLENOID VALVE	
SENSOR		CONNECTION OF NEW TO EXISTING	
HUMIDISTAT		SAWCUT, PATCH TO MATCH ADJACENT SURFACES	
CO <sub>2</sub> SENSOR		HVAC EQUIPMENT SYMBOL, SEE SCHEDULES	
90 DEGREE PIPE ELBOW		EQUIPMENT	
45 DEGREE PIPE ELBOW			
FLOW CONTROL			
CIRCUIT SETTER			
THERMOMETER WELL			
SAFETY VALVE			
REDUCER			
SILL COCK			
THERMOMETER			
PRESSURE GAUGE			

## DUCT DETAILS (LOW VELOCITY)

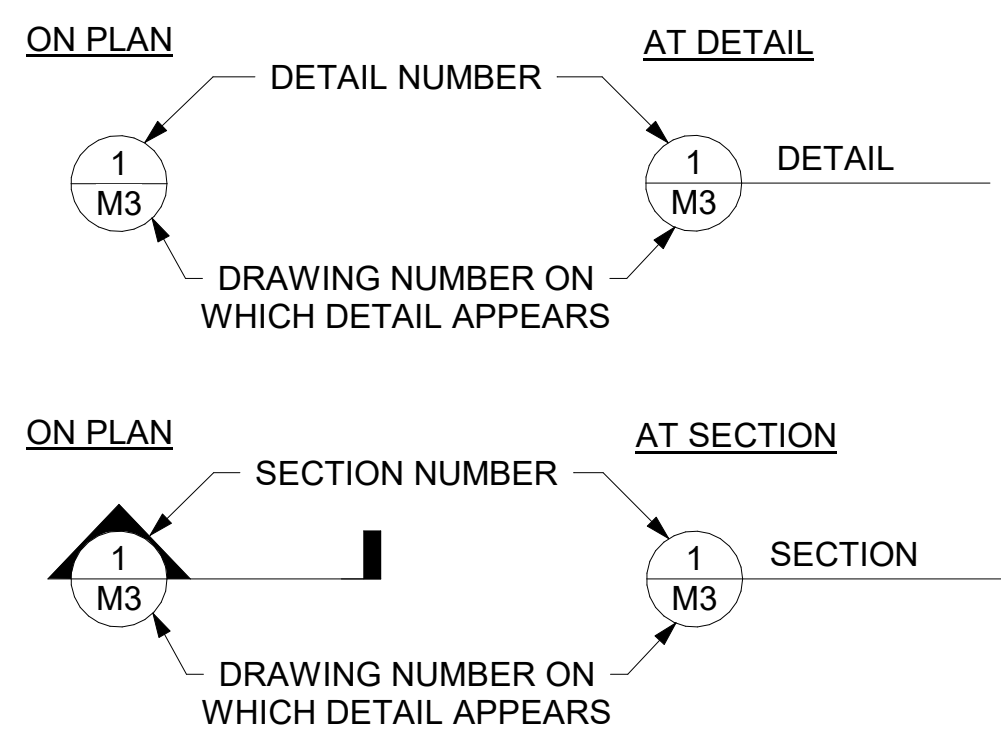
DUCT SIZES ON PLANS ARE INSIDE DIMENSIONS AND UNITS ARE IN INCHES UNLESS INDICATED OTHERWISE.



## ABBREVIATIONS

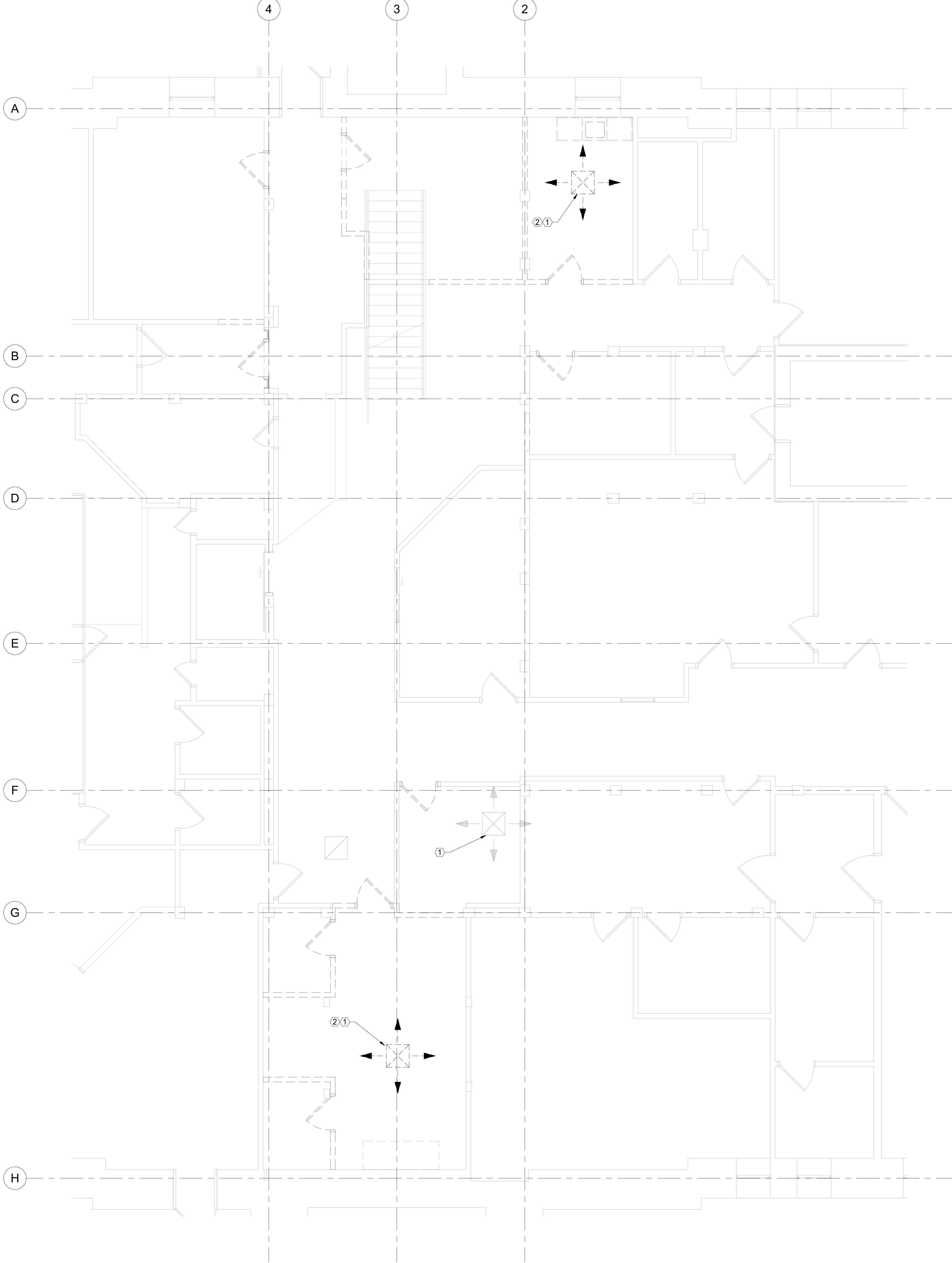
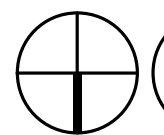
(E)	EXISTING	MCA	MINIMUM CIRCUIT AMPS
(N)	NEW	MIN	MINIMUM
AFF	ABOVE FINISHED FLOOR	OA OR OSA	OUTSIDE AIR
AL	ALUMINUM	PSI	POUNDS PER SQUARE INCH
CFM	CUBIC FEET PER MINUTE	RA	RETURN AIR
CHR	CHILLED WATER RETURN	SA	SUPPLY AIR
CHS	CHILLED WATER SUPPLY	SD	SMOKE DAMPER
COND.	CONDENSATE	SEER	SEASONAL ENERGY EFFICIENCY RATIO
CWR	CONDENSING WATER RETURN	SPECS.	SEE SPECIFICATIONS
CWS	CONDENSING WATER SUPPLY	SS	STAINLESS STEEL
DN	DOWN	ST	STEEL
ESP	EXTERNAL STATIC PRESSURE	SWL	SWITCH WITH LIGHTS
FD	FIRE DAMPER	SWP	SWITCH WITH PILOT LIGHT
FSD	COMBINATION FIRE/SMOKE DAMPER	TSP	TOTAL STATIC PRESSURE
GPM	GALLONS PER MINUTE	TYP	TYPICAL
HP	HORSEPOWER		
HWR	HEATING WATER RETURN		
HWS	HEATING WATER SUPPLY		
MAX	MAXIMUM		

### DETAIL/SECTION INDICATOR



## INDEX OF MECHANICAL DRAWINGS

M000	COVER SHEET - HVAC
MD100	BASEMENT DEMOLITION PLAN - HVAC
M100	BASEMENT FLOOR PLAN - HVAC
M300	SCHEDULES - HVAC



GENERAL NOTES

- ALL EXISTING DUCTWORK, PIPING, EQUIPMENT, ETC. WERE TAKEN FROM EXISTING AVAILABLE RECORD DRAWINGS AND FIELD OBSERVATIONS. CONTRACTOR TO VERIFY EXACT CONDITIONS IN FIELD.
- MAINTAIN INTEGRITY OF EXISTING PIPING, MECHANICAL AND BUILDING SYSTEMS ETC. SERVING ADJACENT SPACES IN AREAS OF NEW CONSTRUCTION.
- WHERE WORK IMPACTS EXISTING CEILING, WALL, OR FLOOR FINISHES OR BUILDING COMPONENTS, CONTRACTOR TO PATCH TO MATCH ADJACENT SURFACES.
- CONTRACTOR TO VERIFY EXACT CONDITIONS IN THE FIELD.
- COORDINATE EXACT LOCATION OF ALL AIR INLETS AND OUTLETS WITH ARCHITECTURAL DRAWINGS. CONTRACTOR TO VERIFY EXACT CONDITIONS IN THE FIELD.
- PROVIDE MANUAL VOLUME DAMPERS AT ALL BRANCH DUCTS TO AIR OUTLETS AND INLETS. PROVIDE REMOTE OPERATORS OR ACCESS DOORS FOR DAMPER REGULATOR MOUNTED ABOVE HARD CEILINGS.

NOTES THIS SHEET

- PERFORM A PRE-CONSTRUCTION AND PRE-DEMOLITION TEST TO RECORD AIRFLOW SUPPLIED BY EACH DIFFUSER INDICATED AND PROVIDE TO ENGINEER FOR REVIEW.
- REMOVE DIFFUSER. REMOVE ASSOCIATED DUCTWORK AS REQUIRED FOR CONNECTION TO NEW DUCTWORK. SEE DRAWING M100.



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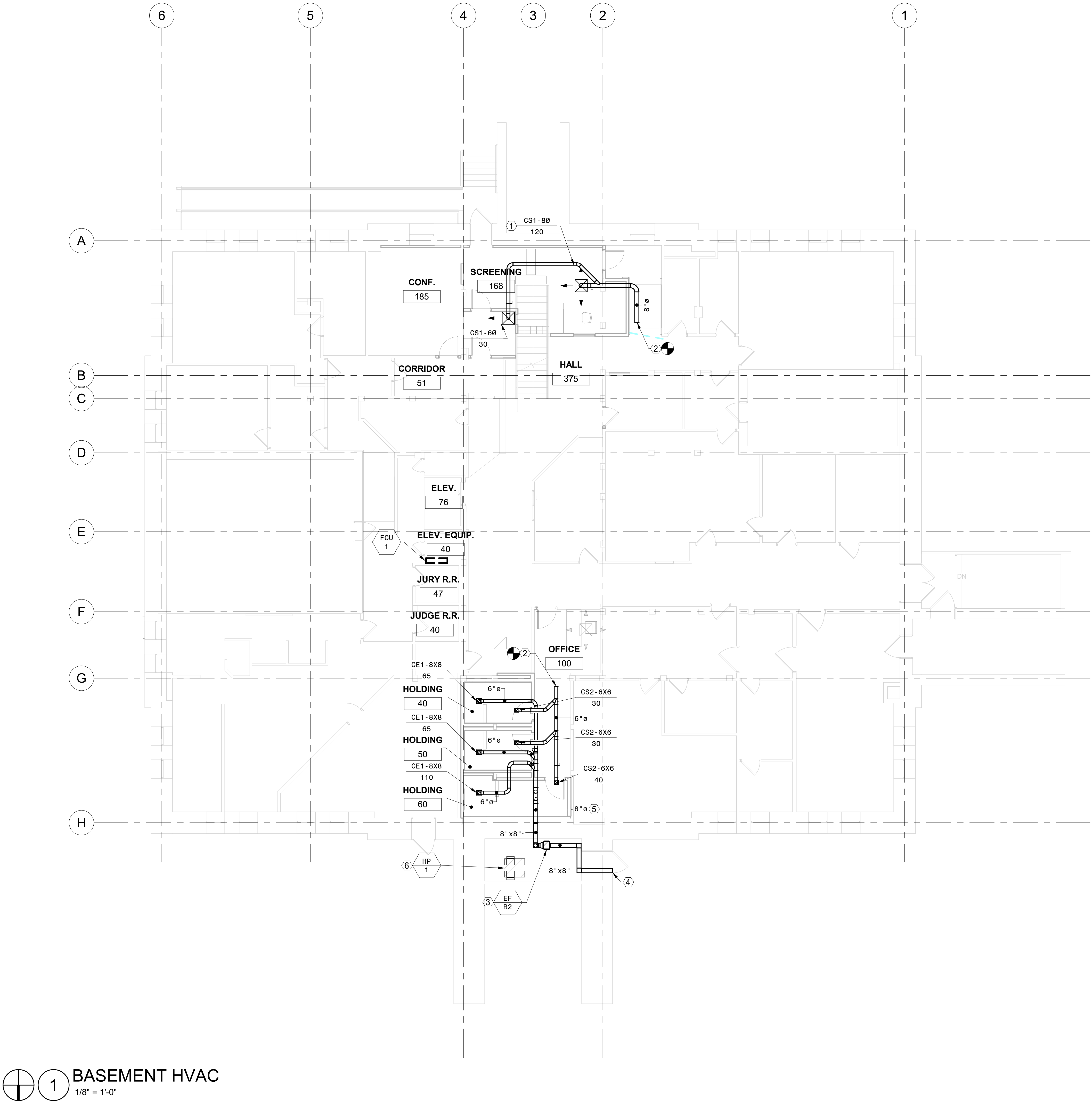
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PROJECT NO:	2101028-2

BASEMENT  
DEMOLITION  
PLAN - HVAC

MD100

BID SET





**1 BASEMENT HVAC**  
1/8" = 1'-0"

GENERAL NOTES

1. ALL EXISTING DUCTWORK, PIPING, EQUIPMENT, ETC. WERE TAKEN FROM EXISTING AVAILABLE RECORD DRAWINGS AND FIELD OBSERVATIONS. CONTRACTOR TO VERIFY EXACT CONDITIONS IN FIELD.
2. MAINTAIN INTEGRITY OF EXISTING PIPING, MECHANICAL AND BUILDING SYSTEMS ETC. SERVING ADJACENT SPACES IN AREAS OF NEW CONSTRUCTION.
3. WHERE WORK IMPACTS EXISTING CEILING, WALL, OR FLOOR FINISHES OR BUILDING COMPONENTS, CONTRACTOR TO PATCH TO MATCH ADJACENT SURFACES.
4. CONTRACTOR TO VERIFY EXACT CONDITIONS IN THE FIELD.
5. COORDINATE EXACT LOCATION OF ALL AIR INLETS AND OUTLETS WITH ARCHITECTURAL DRAWINGS. CONTRACTOR TO VERIFY EXACT CONDITIONS IN THE FIELD.
6. PROVIDE MANUAL VOLUME DAMPERS AT ALL BRANCH DUCTS TO AIR OUTLETS AND INLETS. PROVIDE REMOTE OPERATORS OR ACCESS DOORS FOR DAMPER REGULATOR MOUNTED ABOVE HARD CEILINGS.

NOTES THIS SHEET

- ① BALANCE TO PRE-CONSTRUCTION VALUE MINUS 30-CFM..
- ② CONNECT TO EXISTING DUCTWORK.
- ③ MOUNT EXHAUST FAN FROM STRUCTURE ABOVE.
- ④ TERMINATE EXHUAUST DUCT IN UPPER NORTH CORNER OF FENCE DOORWAY, SUCH THAT GATE DOES NOT IMPACT DUCTWORK. PROVIDE MINIMUM 65% FREE AREA EXPANDED METAL SCREEN. DUCTWORK AND SCREEN PAINTED WITH COLOR AS SELECTED BY ARCHITECT.
- ⑤ OFFSET DUCTWORK TO BE JUST ABOVE HOLDING CELL CEILING TO PENETRATE EXISTING ARCHWAY WOODEN INFILL. CONTRACTOR TO VERIFY EXACT LOCATION IN FIELD.
- ⑥ LOCATE UNDER IN VOID SPACE BELOW STAIRS. COORDINATE EXACT LOCATION WITH ARCHITECT AND OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. ORIENT UNIT DISCHARGE TOWARDS GATE.



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Astoria, OR 97103

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BASEMENT  
FLOOR PLAN -  
HVAC  
**M100**

BID SET

VENTILATION AIR REQUIREMENT SCHEDULE								
SPACE	NET AREA (SQFT)	DEFAULT OCCUPANCY DENSITY (OCCUPANTS / 1000SQFT) PER OMSC TABLE 403.3.1.1	REQUIRED OSA PER OCCUPANT (CFM) PER OMSC TABLE 403.3.1.1	REQUIRED OSA (CFM) PER SQFT PER OMSC TABLE 403.3.1.1	NUMBER OF OCCUPANTS	REQUIRED EXHAUST (CFM) PER OMSC TABLE 403.3.1.1	UNCORRECTED VENTILATION AIR (CFM) FOR ZONE	REQUIRED VENTILATION AIR (CFM) FOR ZONE
HOLDING 40	62	25	5.0	0.12	2	62	18	30
HOLDING 50	60	25	5.0	0.12	2	60	18	30
HOLDING 278	104	25	5.0	0.12	3	104	28	40

GRILLES REGISTERS AND DIFFUSER SCHEDULE					
SYM.	DESCRIPTION	TITUS NO. SHOWN	MAT'L	FINISH	REMARKS
CS1	CEILING SUPPLY	PCS	STEEL	WHITE	PERFORATED FACE, ADJUSTABLE CURVED BLADES
CS2	SECURITY SUPPLY	SG-SD	STEEL	WHITE	SUICIDE DTERRENT, MAXIMUM SECURITY, PERFORATED FACE
CE1	SECURITY EXHAUST	SG-SD	STEEL	WHITE	SUICIDE DTERRENT, MAXIMUM SECURITY, PERFORATED FACE
NOTE: CONTRACTOR TO COORDINATE WITH CEILING, WALL, AND FLOOR CONSTRUCTION PRIOR TO RELEASE OF GRILLES, REGISTERS AND DIFFUSERS					

HEAT PUMP SCHEDULE (OUTDOOR UNIT)	
MARK NUMBER	HP-1
NOMINAL TONS	1.50
ASSOCIATED INDOOR MARK NO.	FCU-1
AMBIENT CONDENSING TEMP. DEG. F	95
COOLING CAPACITY	18.0
HEATING:	
MBH AT 47F DB/ 43F WB	20.0
HSPF	8.2
SEER	17.0
SOUND, DBA	58
STATIC WEIGHT(LBS.)	180
ELECTRICAL: VOLTS/PHASE/MCA	208/1/16.5
MANUFACTURER	DAIKIN
MODEL NUMBER	RZQ18TAVJU
MCA - MINIMUM CIRCUIT AMPS	
SEER - SEASONAL ENERGY EFFICIENT RATIO	

FAN SCHEDULE	
MARK NUMBER	EF-B2
TYPE	CENTRIFUGAL
SERVING	HODLING CELLS
FAN LOCATION	STAIRS
CFM	240
TSP (IN. WC)	0.500
DRIVE	DIRECT
MAX FAN RPM	1,275
MOTOR HP.	50W
VOLT/PH	120V / 1PH
WHEEL TYPE	FORWARD CURVED
CONTROL	CONTINUOUS
DAMPER TYPE	SPRING LOADED BACKDRAFT
VARIABLE SPEED CONTROL	YES
UL 507 LISTED	YES
ISOLATION	INTEGRAL
MAX SOUND SONES	1.50
STATIC WEIGHT (LBS.)	25
MANUFACTURER	GREENHECK
MODEL # [FAN]	CSP-A390-VG
ACCESSORIES	ISOLATION KIT AND EC MOTOR

FAN COIL UNIT SCHEDULE	
MARK NUMBER	FCU-1
SERVING	ELEV MECH
FAN:	
TOTAL CFM	500
OSA CFM	0
ESP (IN. WC)	0.0
VOLTS/PH/MCA	208/1/0.6
FILTER TYPE	CLEANABLE
COOLING:	
SENSIBLE (MBH)	13.0
TOTAL (MBH)	18.0
SOUND (dBA) AT HIGH SPEED	43.0
WEIGHT (LBS.)	35
MANUFACTUER	DAIKIN
MODEL	FAQ18TAVJU



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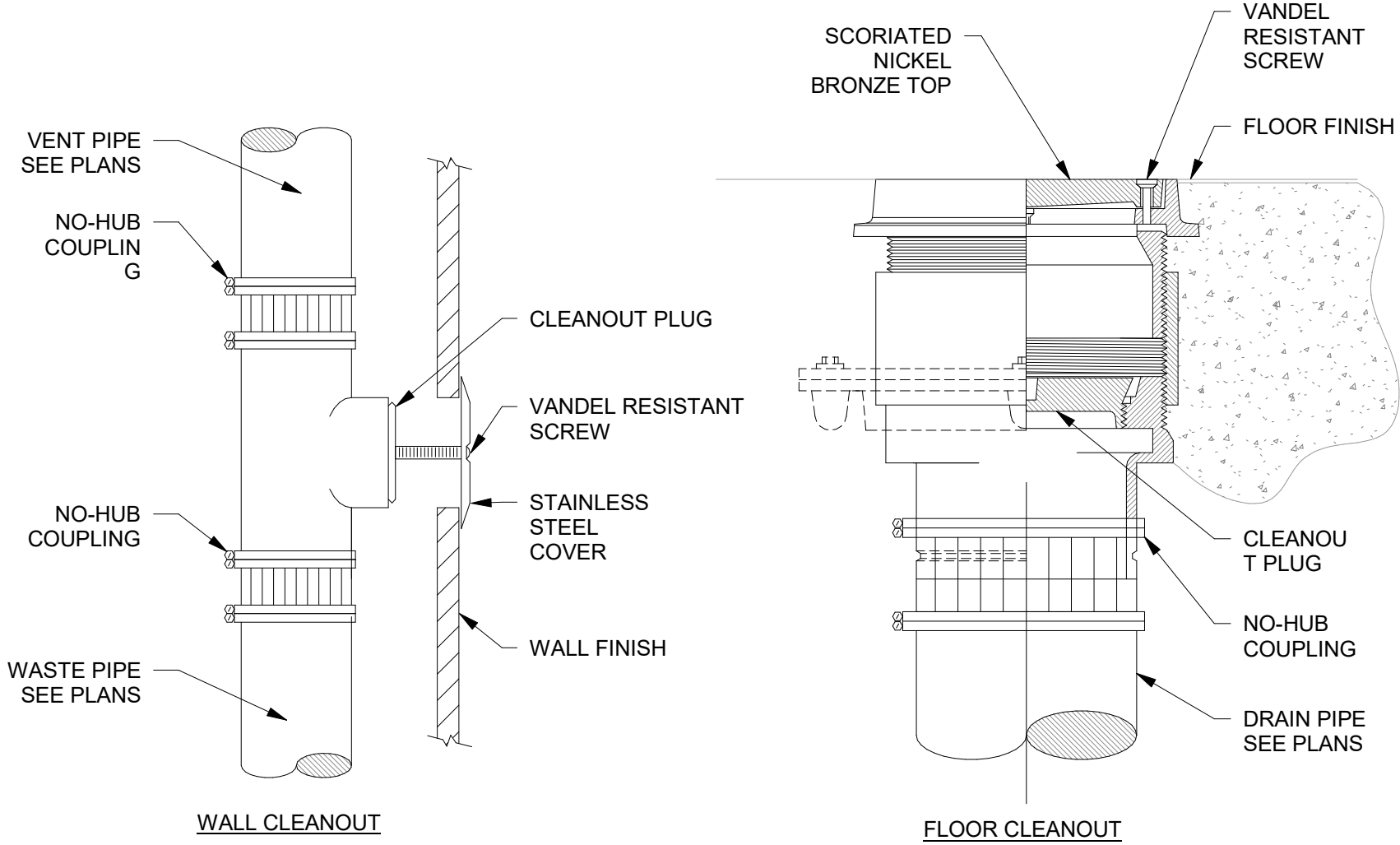
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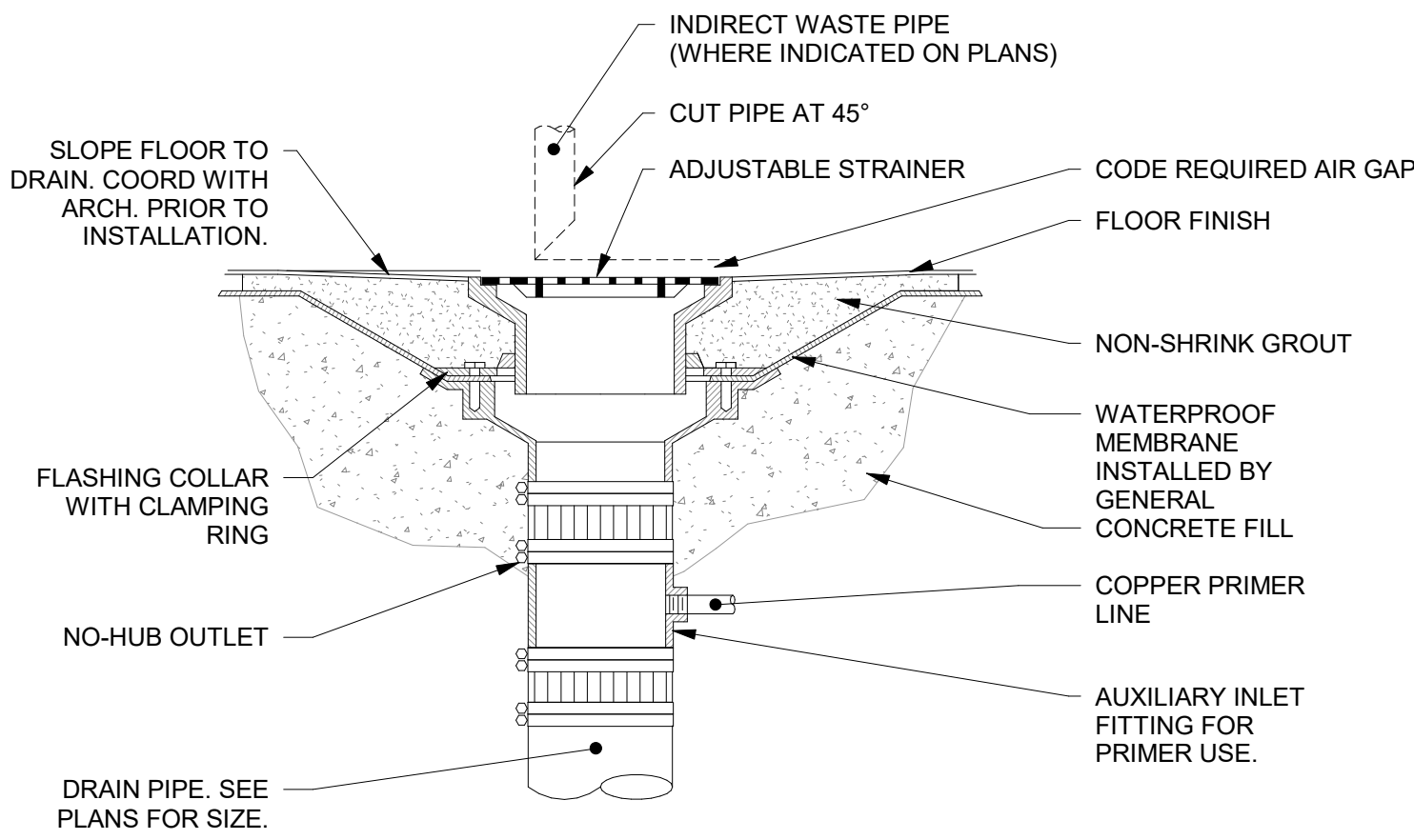
SCHEDULES -  
HVAC  
M300

BID SET





1 INTERIOR CLEANOUTS  
DIAGRAMMATIC



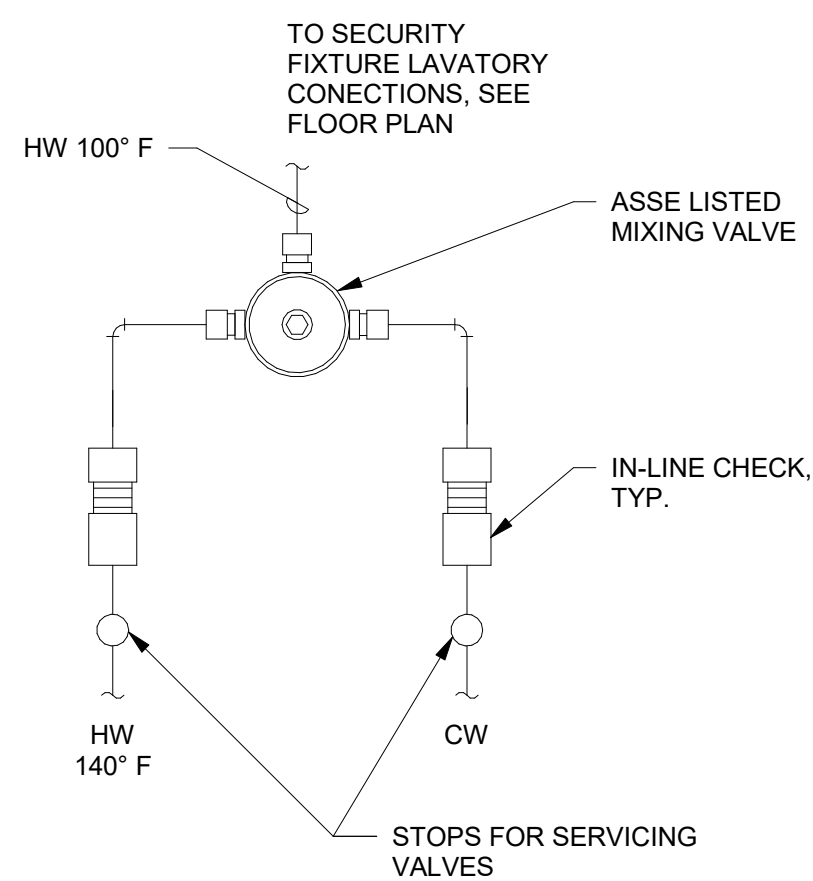
2 FLOOR DRAIN DETAIL  
DIAGRAMMATIC



3 WATER HEATER  
DIAGRAMMATIC



4 WATER MAIN  
DIAGRAMMATIC



5 MIXING VALVE  
DIAGRAMMATIC

## PIPING LEGEND

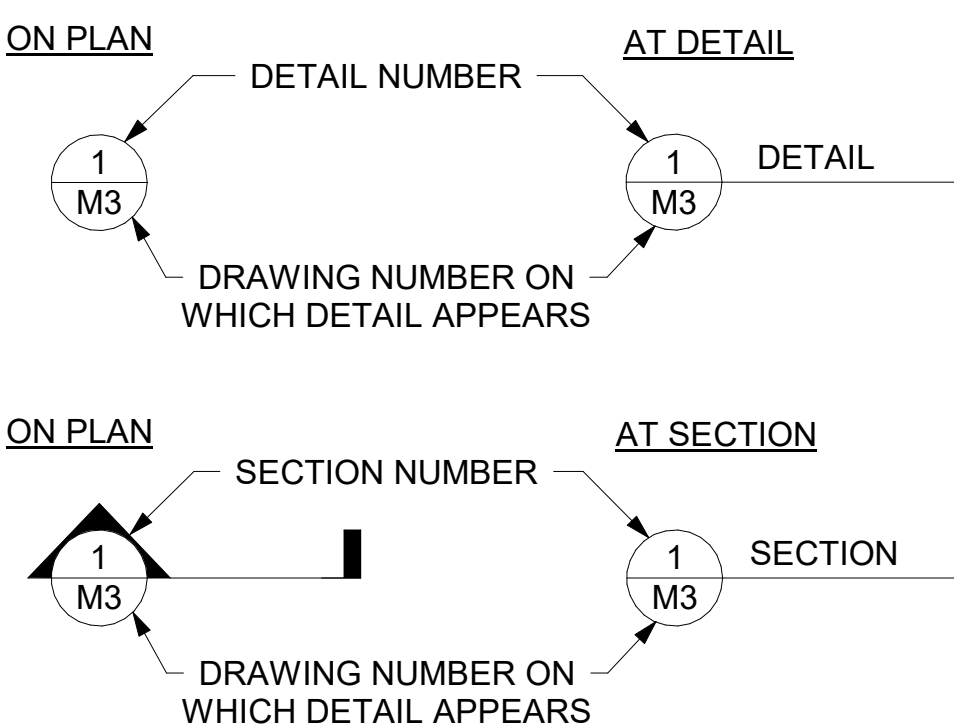
THIS LEGEND REFLECTS THE GENERALLY USED SYMBOLS BY CUNDIFF ENGINEERING. SOME SYMBOLS SHOWN ON THIS LEGEND MAY NOT BE REFLECTED ON THE DRAWINGS.

SANITARY WASTE BELOW GRADE	---	90 DEGREE ELBOW
SANITARY WASTE ABOVE GRADE	---	45 DEGREE ELBOW
ACID WASTE BELOW GRADE	---	PIPE ELBOW UP
ACID WASTE ABOVE GRADE	---	PIPE ELBOW DOWN
PUMPED WASTE	---	TEE
VENT	---	PIPE TEE UP ELBOW
ACID VENT	---	TEE UP
RAIN DRAIN ABOVE GRADE	---	PIPE TEE DOWN ELBOW
RAIN DRAIN BELOW GRADE	---	TEE DOWN
COLD WATER-POTABLE	---	UNION
HOT WATER-POTABLE	---	PRESSURE REGULATOR
HOT WATER RETURN-POTABLE	---	GATE VALVE
TEMPERED HOT WATER	---	BALL VALVE
TEMPERED HOT WATER RETURN	---	GLOBE VALVE
DEIONIZED WATER	---	BUTTERFLY VALVE
DEIONIZED WATER RETURN	---	CHECK VALVE
VACUUM	---	STRAINER
AIR (15 psi)	---	HOSE BIBB
AIR (50 psi)	---	SILL COCK
INDIRECT DRAIN	---	PIPE CAP
STORM DRAIN	---	PRESSURE GUAGE
GUTTER DRAIN	---	THERMOMETER WELL
OVERFLOW DRAIN	---	SAFETY VALVE
PIPING BELOW GRADE	---	REDUCER
PIPING TO BE REMOVED	---	SOLENOID VALVE
AIR OUTLET	---	THERMOMETER
PIPE LINE BREAK	---	AUTOMATIC AIR VENT VALVE
SAWCUT, PATCH TO MATCH ADJACENT SURFACES	---	STEAM TRAP
SEE PLUMBING CONNECTION SCHEDULE	---	GAS OUTLET
	---	NEW CONNECTION TO EXISTING
	---	GROUND HYDRANT

## ABBREVIATIONS

(E)	EXISTING
(N)	NEW
AFF	ABOVE FINISH FLOOR
CI	CAST IRON
CO	CLEAN OUT, SEE DETAIL 1/P.00
COTG	CLEAN OUT TO GRADE
CSP	CONCRETE SEWER PIPE
CU	COPPER
CW	COLD WATER
DN	DOWN
GPM	GALLONS PER MINUTE
HP	HORSEPOWER
HW	HOT WATER
HWR	HOT WATER RETURN
ID	INDIRECT DRAIN
IE	INVERT ELEVATION
OD	OVERFLOW DRAIN
PSI	POUNDS PER SQUARE INCH
RD	RAIN DRAIN
SPECS.	SEE SPECIFICATIONS
SWP	SWITCH WITH PILOT LIGHT
TW	TEMPERED HOT WATER
TWR	TEMPERED HOT WATER RETURN
TYP	TYPICAL
VTR	VENT THROUGH ROOF
WCO	WALL CLEAN OUT, SEE DETAIL 6/P.00

## DETAIL/SECTION INDICATOR



## INDEX OF PLUMBING DRAWINGS

P000	COVER SHEET - PLUMBING
PD100	BASEMENT DEMOLITION PLAN - PLUMBING
P100	BASEMENT FLOOR PLAN - PLUMBING

## PLUMBING CONNECTION SCHEDULE

SYM	FIXTURE	W	V	CW	HW	REMARKS
WC1	WATER CLOSET	4	2	1 1/2	1/2	LIGATURE RESISTANT COMBINATION WATER CLOSET WITH TEMPERED WATER METERING LAVATORY. FRONT ACCESS, FLOOR OUTLET, ELECTRONIC FLOOD TOILET RESET, 1.28-GPF HYDRAULIC FLUSH VALVE. ACORN #LR1418FA-CT-03-03M-1.28GPF-FVH-FTE. ROUTE 1-1/2" COLD WATER TO POINT OF CONNECTION AND THEN REDUCE TO MANUFACTURER'S CONNECTION SIZE AT POINT OF CONNECTION.
WC2 *	WATER CLOSET	4	2	1 1/2	1/2	LIGATURE RESISTANT ADA COMBINATION WATER CLOSET WITH TEMPERED WATER METERING LAVATORY. FRONT ACCESS, FLOOR OUTLET, ELECTRONIC FLOOD TOILET RESET, 1.28-GPF HYDRAULIC FLUSH VALVE. ACORN #LR1498FA-LO-3-03M-1.28GPF-FVH-FTE. ROUTE 1-1/2" COLD WATER TO POINT OF CONNECTION AND THEN REDUCE TO MANUFACTURER'S CONNECTION SIZE AT POINT OF CONNECTION.
MX1	MIXING VALVE	---	---	3/4	3/4	ASSE 1070 LISTED MIXING VALVE WITH MAXIMUM 5-PSI DROP AT 4-GPM FLOW AND MINIMUM 0.5-GPM FLOW WITH 3/4" EXPANSION PEX CONNECTIONS. BRADLEY NAVIGATOR THERMOSTATIC MIXING VALVE S59-4016EY. SEE DETAIL 5/P.00.

\* TO MEET ADA REQUIREMENTS  
NOTE: VENT LINES TO BE OMITTED ON FLOOR SINKS, FLOOR TROUGHS, AND FLOOR DRAINS WITHIN APPROPRIATE DISTANCE FROM A VENTED WASTE LINE AS PERMITTED BY STATE OF OREGON PLUMBING SPECIALTY CODE AMENDMENTS TO THE UNIFORM PLUMBING CODE AND LOCAL AUTHORITIES.

## WATER SERVICE CALCULATION

EXISTING PUBLIC GENERAL USE	NEW PUBLIC GENERAL USE	DESCRIPTION	WATER SUPPLY FIXTURE UNITS			DRAINAGE FIXTURE UNITS	
			TABLE 610.3 PUBLIC GENERAL USE	TOTAL FIXTURE UNITS COLD WATER	0.75 HOT WATER	TABLE 7-3 PUBLIC GENERAL USE	TOTAL DFU
18	3	LAVATORY	1	21	15.75	1	21
19		WATER CLOSET, MAX 1.6 GPF, FLUSH TANK	2.5	47.5		4	76
	3	WATER CLOSET, MAX 1.6 GPF, FLUSH VALVE	5	15		4	12
2		URINAL	4	8		2	4
1		MOP SINK	3	3	2.25	3	3
6		FLOOR DRAIN		0		4	24
		HOSE BIBBS	2.5 / 1	1.5		0	0
6	-1	KITCHEN SINK	1.5	7.5	5.63	2	10
TOTAL				103.5	23.63		150



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PH 503.551.7260, FX 503.551.7267  
PROJECT NUMBER: 22-035

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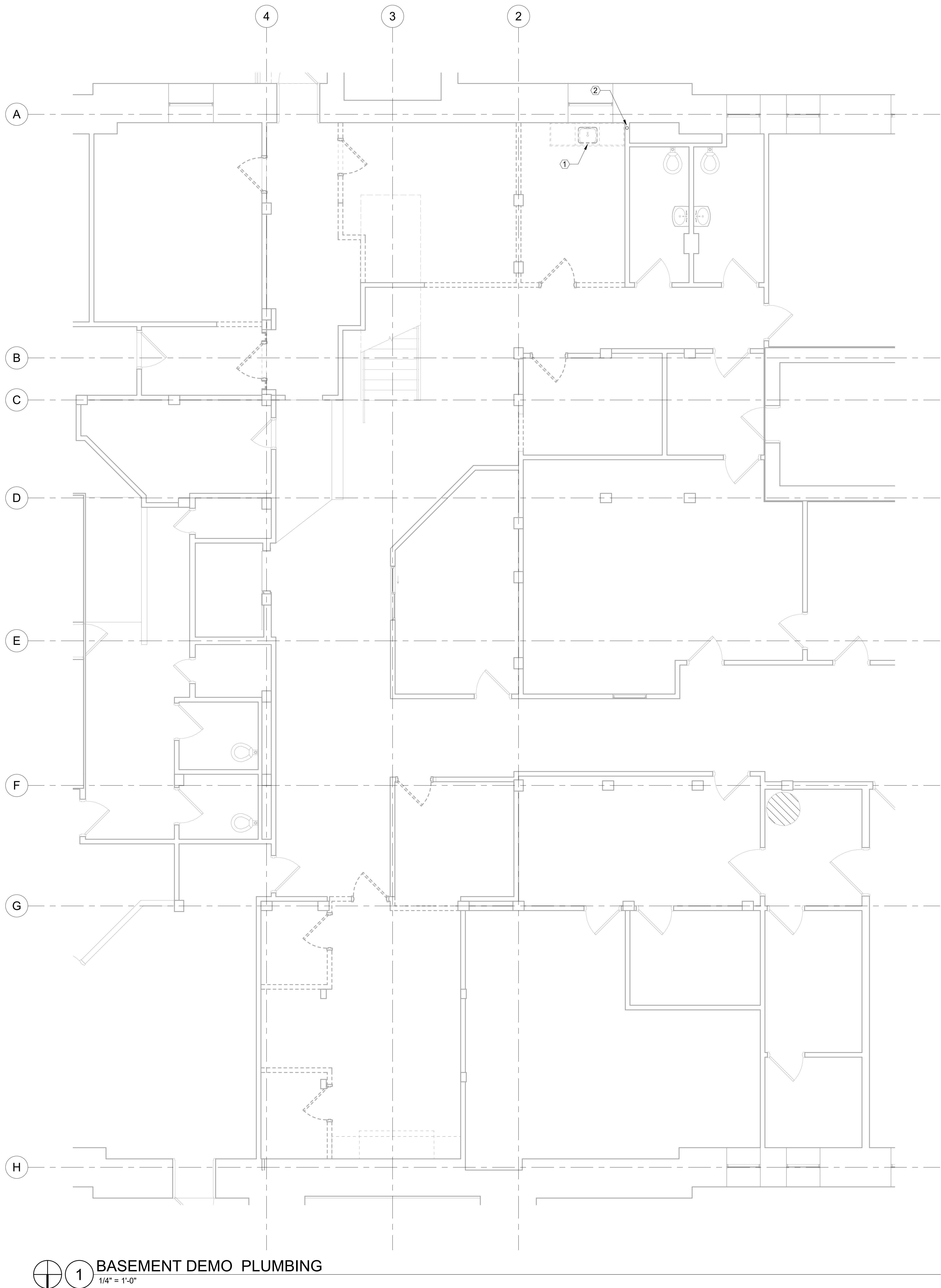
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COVER SHEET -  
PLUMBING  
P000

BID SET





 1 BASEMENT DEMO PLUMBING  
1/4" = 1'-0"

GENERAL NOTES

1. ALL EXISTING DUCTWORK, PIPING, EQUIPMENT, ETC. WERE TAKEN FROM EXISTING AVAILABLE RECORD DRAWINGS AND FIELD OBSERVATIONS. CONTRACTOR TO VERIFY EXACT CONDITIONS IN FIELD.
2. MAINTAIN INTEGRITY OF EXISTING PIPING, MECHANICAL AND BUILDING SYSTEMS ETC. SERVING ADJACENT SPACES IN AREAS OF NEW CONSTRUCTION.
3. WHERE WORK IMPACTS EXISTING CEILING, WALL, OR FLOOR FINISHES OR BUILDING COMPONENTS, CONTRACTOR TO PATCH TO MATCH ADJACENT SURFACES.
4. CONTRACTOR TO VERIFY EXACT CONDITIONS IN THE FIELD.
5. USE DIELECTRIC UNIONS WHERE DISSIMILAR METALS ARE JOINED.

NOTES THIS SHEET

- ① REMOVE SINK AND FAUCET. REMOVE COLD AND HOT WATER LINES TO A POINT BEYOND CONCEALMENT AND CAP. REMOVE WASTE AND VENT PIPING TO EXISTING RISER. VERIFY WASTE AND VENT RISER IS CONNECTED. IF CONNECTED, CAP VENT AND WASTE PIPING BEYOND A POINT OF CONCEALMENT. IF NOT CONNECT VENT INTO WASTE PIPING WITHIN WALL AND REMOVE ELBOWS.
- ② EXISTING WASTE AND VENT RISER PIPING.



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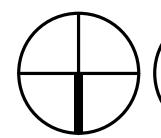
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BASEMENT  
DEMOLITION  
PLAN - PLUMBING  
PD100  
BID SET

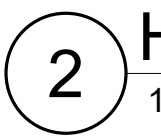
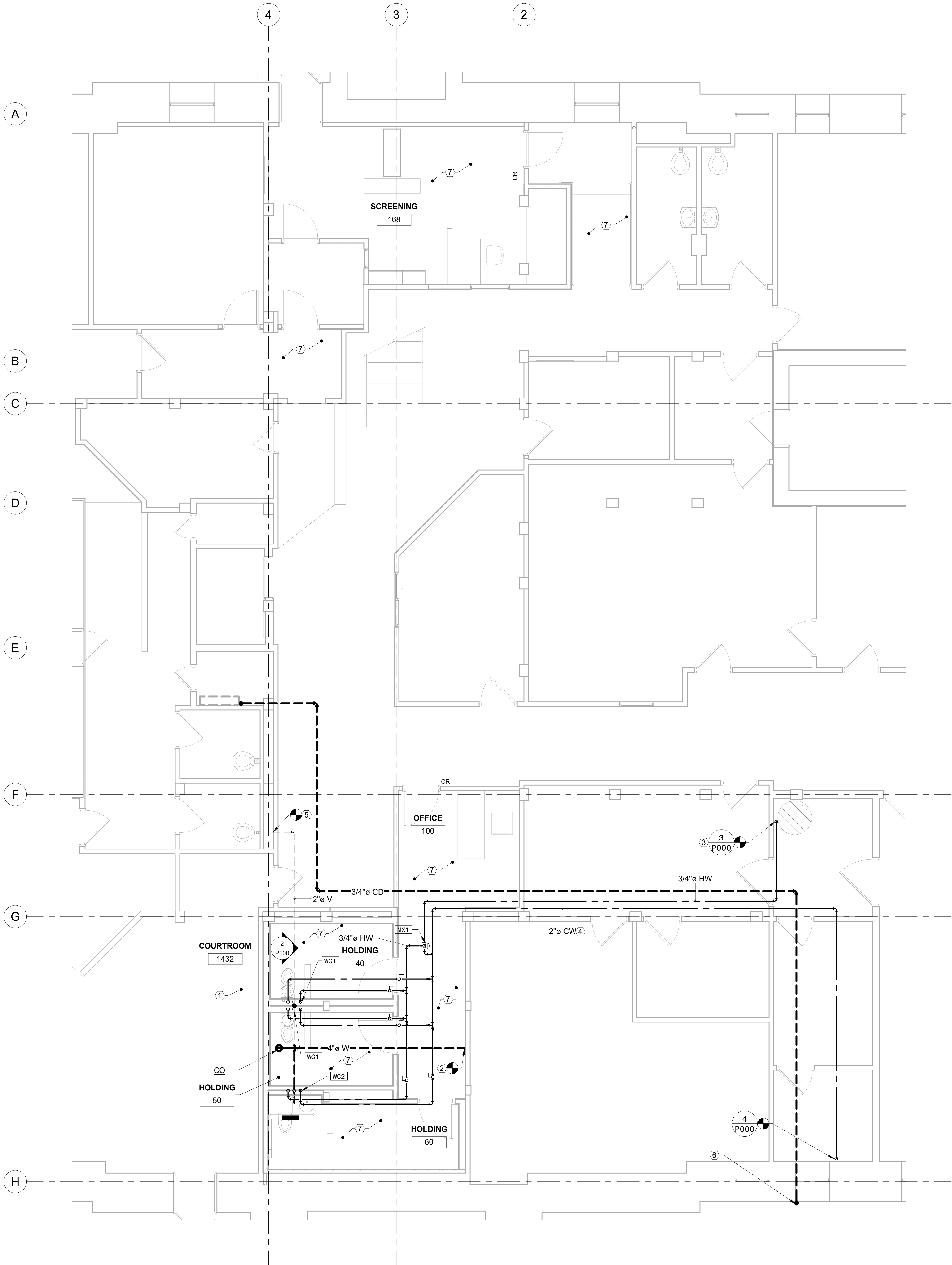




1

BASEMENT PLUMBING

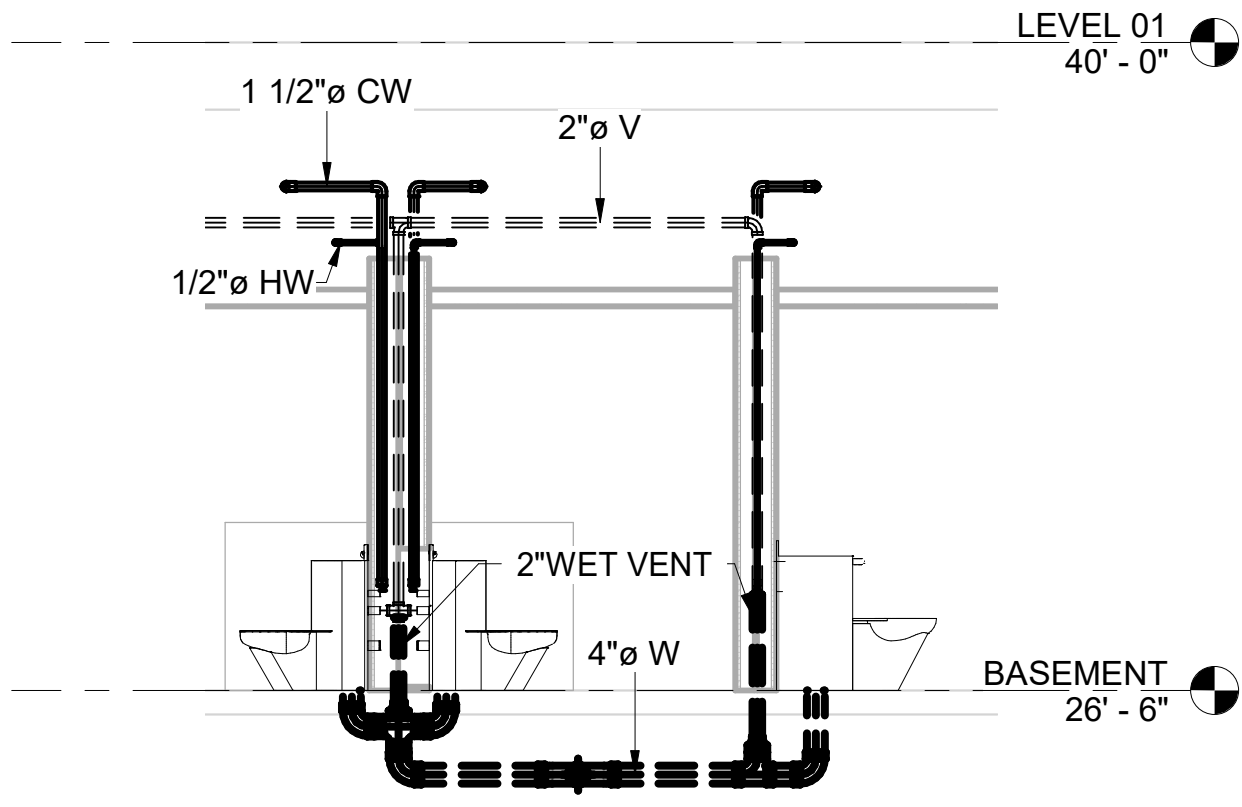
1/4" = 1'-0"



2

HOLDING CELL SECTION

1/4" = 1'-0"



GENERAL NOTES

1. ALL EXISTING DUCTWORK, PIPING, EQUIPMENT, ETC. WERE TAKEN FROM EXISTING AVAILABLE RECORD DRAWINGS AND FIELD OBSERVATIONS. CONTRACTOR TO VERIFY EXACT CONDITIONS IN FIELD.
2. MAINTAIN INTEGRITY OF EXISTING PIPING, MECHANICAL AND BUILDING SYSTEMS ETC. SERVING ADJACENT SPACES IN AREAS OF NEW CONSTRUCTION.
3. WHERE WORK IMPACTS EXISTING CEILING, WALL, OR FLOOR FINISHES OR BUILDING COMPONENTS, CONTRACTOR TO PATCH TO MATCH ADJACENT SURFACES.
4. CONTRACTOR TO VERIFY EXACT CONDITIONS IN THE FIELD.
5. USE DIELECTRIC UNIONS WHERE DISSIMILAR METALS ARE JOINED.
6. PROVIDE ACCESS PANELS FOR ALL VALVES LOCATED IN HARD CEILINGS AS REQUIRED. LOCATE VALVES DIRECTLY BEHIND ACCESS PANELS.
7. LOCATE PLUMBING VENTS A MINIMUM 10 FEET HORIZONTAL FROM MECHANICAL FRESH AIR INTAKES.
8. FLASH AND COUNTERFLASH VTR PENETRATIONS OF ROOF MEMBRANE. SEAL ROOF PENETRATION WEATERTIGHT.
9. COORDINATE EXACT LOCATION OF FLOOR DRAINS WITH ARCHITECTURAL DRAWINGS PRIOR TO ROUGH-IN.

NOTES THIS SHEET

- ① APPROXIMATE LOCATION OF WELDED SHUT MANHOLE LID. POSSIBLE ALTERNATE SEWER LOCATION IF CONTRACTOR CAN VERIFY LINES ARE STILL ACTIVE AND WILL RESULT IN REDUCTION OF COST IN LIEU OF CONNECTION INDICATED IN NOTES THIS SHEET #2.
- ② APPROXIMATE LOCATION OF WASTE RISER. CONTRACTOR TO VERIFY EXACT LOCATION AND SIZE PRIOR TO DEMOLITION ACTIVITIES.
- ③ BASE BID HOT WATER POINT OF CONNECTION INDICATED. CONTRACTORS OPTION TO CONNECT TO 1-INCH OR LARGER HOT WATER LINE THAT IS CLOSEST TO HOLDING CELL AREA AND PROVIDE CREDIT TO OWNER FOR REDUCED COST OF INSTALLATION.
- ④ BASE BID COLD WATER ROUTING INDICATED. VALUE ENGINEERING OPTION TO ALLOW ROUTING THROUGH SERVER ROOM ALONG NORTH WALL ASSUMING THAT WATER LINE DOES NOT CROSS OVER OWNER'S EQUIPMENT OR ELECTRICAL CODE DESIGNATED CLEAR SPACES.
- ⑤ CONNECT INTO NEAREST ADEQUATELY SIZED VENT LINE.
- ⑥ ROUTE CONDENSATE FROM FCU CONDENSATE PUMP UP TIGHT TO STRUCTURE AND ROUTE TO FIRE SPRINKLER ROOM AND DISCHARGE THROUGH LOUVER AND TERMINATE WITH DOWNTURNED ELBOW TO MATCH EXISTING FIRE SUPPRESSION DRAIN.
- ⑦ REVISE FIRE SUPPRESSION SYSTEM TO COMPLY WITH NFPA 13 FOR THE NEW ROOM CONFIGURATIONS. SEE SPECIFICATIONS.



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BASEMENT

FLOOR PLAN -

PLUMBING

P100

BID SET



INDEX OF ELECTRICAL DRAWINGS

E000	COVER SHEET - ELECTRICAL
ED100	BASEMENT LIGHTING DEMOLITION PLAN
ED200	BASEMENT POWER DEMOLITION PLAN
E100	BASEMENT LIGHTING PLAN
E200	BASEMENT POWER PLAN
E300	DETAILS - ELECTRICAL

ABBREVIATIONS:

ACT	ACOUSTICAL CEILING TILE	FSD	FIRE/SMOKE DAMPER
AFC	AVAILABLE FAULT CURRENT	G	GROUND
AFF	ABOVE FINISHED FLOOR	HP	HEAT PUMP
AFG	ABOVE FINISHED GRADE	IT	INFORMATION TECHNOLOGY
AP	ACCESS POINT	LCP	LIGHTING CONTROL PANEL
ASD	AIR SAMPLING SMOKE DETECTOR	LV	LOW VOLTAGE
C	CONDUIT	OH	OVERHEAD
CR	CARD READER	P	PILOT LIGHT
D	DOOR	P/N	PHASE AND/OR NEUTRAL
(E)	EXISTING	Power	POWER
E	EMERGENCY	TYP	TYPICAL
EF	EXHAUST FAN	WP	WEATHERPROOF
EV	ELECTRICAL VEHICLE	#XP, #XG	PHASE AND GROUND CABLE AWG

ELECTRICAL LEGEND

	RECESSED DOWNLIGHT FIXTURE		MOTOR CONNECTION
	SURFACE MOUNTED CELL FIXTURE		DATA OUTLET
	ACT MOUNTED LINEAR LIGHT FIXTURE		RECESSED PANEL AS NOTED
	EXISTING LIGHT FIXTURES		AIR SAMPLING SMOKE DETECTOR
	CEILING MOUNTED LOW VOLTAGE OCCUPANCY SENSOR		SMOKE DETECTOR
	CONDUIT CONCEALED IN WALL, FLOOR OR CEILING		FIRE ALARM PULL STATION
	DENOTES BRANCH CIRCUIT "HOME RUN"		WALL MOUNTED STROBE
	DENOTES PHASE/SWITCH LEG		WALL MOUNTED MAGNETIC DOOR LOCK CARD READER
	DENOTES NEUTRAL		SINGLE POLE SWITCH
	DENOTES GROUND		SINGLE POLE FAN SWITCH
	DUPLEX RECEPTACLE		SINGLE POLE SWITCH WITH PILOT LIGHT
	DOUBLE DUPLEX RECEPTACLE		DENOTES SHEET NOTE NUMBER
	SPECIAL PURPOSE CONNECTION AS NOTED		WALL MOUNTED SINGLE SIDED EMERGENCY EXIT SIGN
	NON-FUSED DISCONNECT SWITCH		



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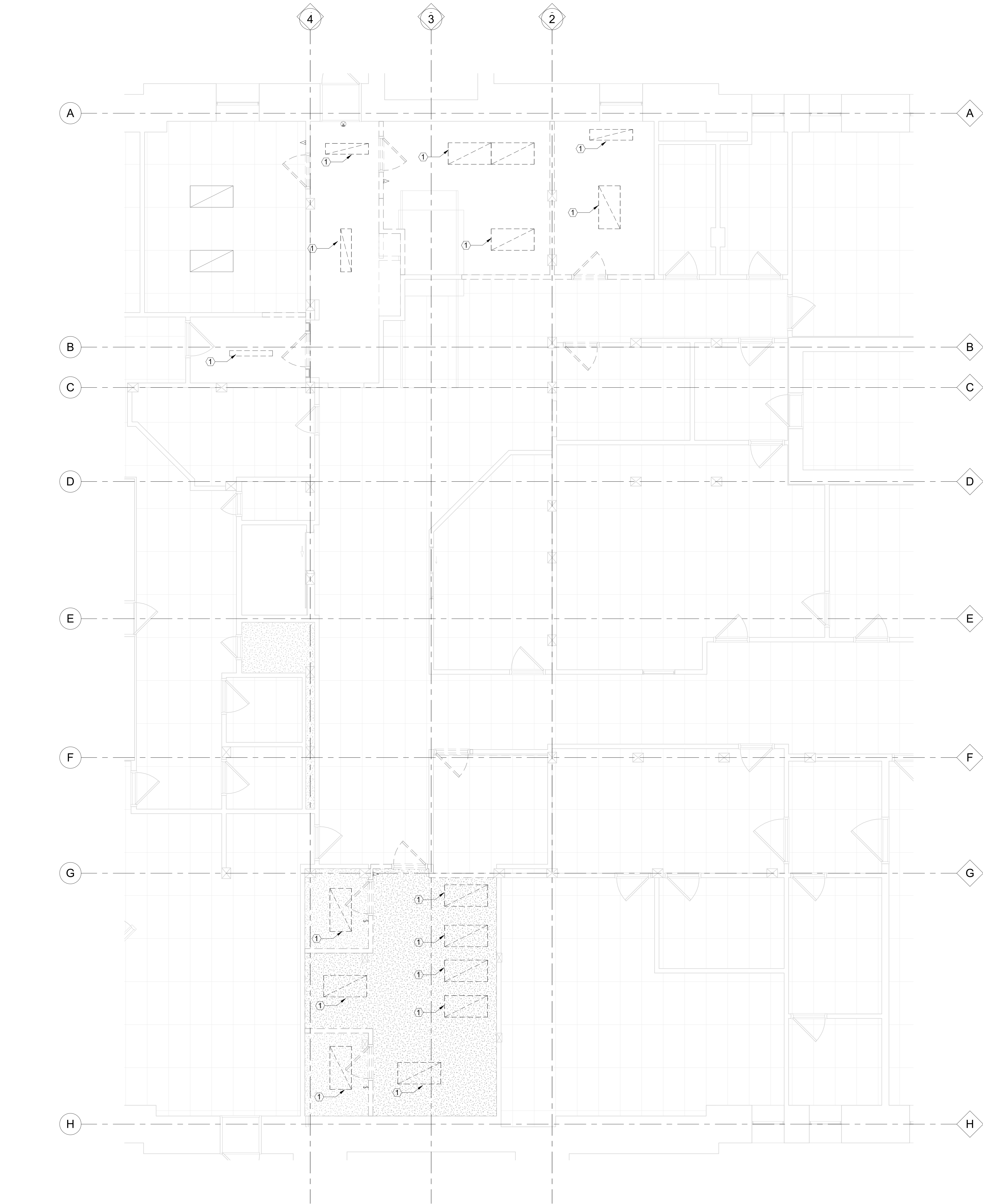
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1

BASEMENT DEMO LIGHTING

1/4" = 1'-0"

NOTES THIS SHEET

① EXISTING DEVICE TO BE DEMOLISHED. REMOVE ALL COMPONENTS AND BRANCH CIRCUITS TO THE NEAREST JUNCTION BOX OR NEXT DEVICE, MAINTAINING POWER TO OTHER DEVICES REMAINING IN SERVICE.

GENERAL NOTES

- ALL EXISTING BRANCH CIRCUIT, ELECTRICAL EQUIPMENT, ETC. WERE TAKEN FROM EXISTING AVAILABLE RECORD DRAWINGS AND FIELD OBSERVATIONS. CONTRACTOR TO VERIFY EXACT CONDITIONS IN FIELD.
- MAINTAIN INTEGRITY OF EXISTING ELECTRICAL AND BUILDING SYSTEMS ETC. SERVING ADJACENT SPACES IN AREAS OF NEW CONSTRUCTION.
- WHERE WORK IMPACTS EXISTING CEILING, WALL, OR FLOOR FINISHES OR BUILDING COMPONENTS, CONTRACTOR TO PATCH TO MATCH ADJACENT SURFACES.
- CONTRACTOR TO VERIFY EXACT CONDITIONS IN THE FIELD.
- COORDINATE EXACT LOCATION OF ALL AIR INLETS AND OUTLETS WITH ARCHITECTURAL DRAWINGS. CONTRACTOR TO VERIFY EXACT CONDITIONS IN THE FIELD.



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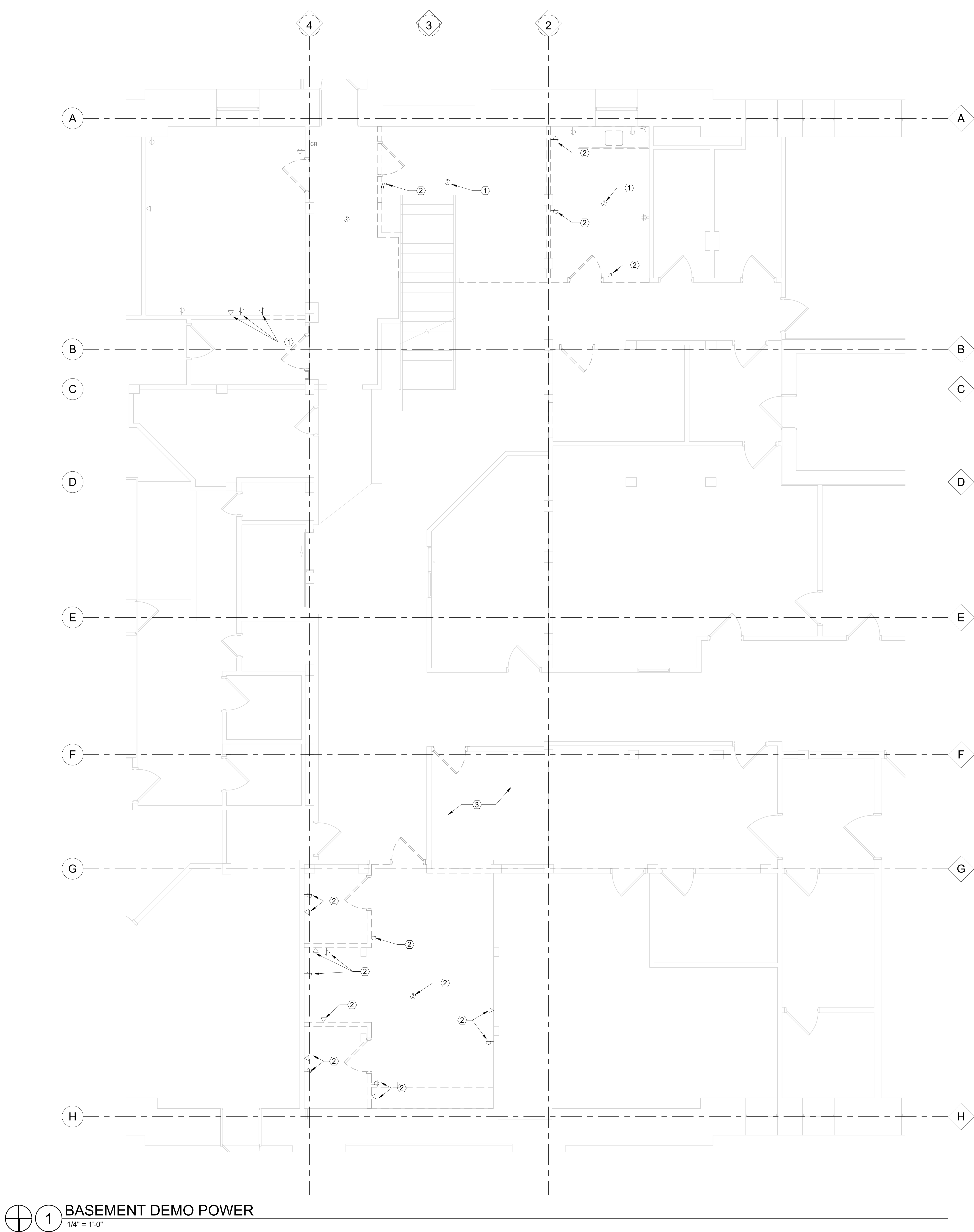
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BASEMENT  
LIGHTING  
DEMOLITION  
PLAN

ED100

BID SET



- NOTES THIS SHEET
- 1

EXISTING DEVICE TO BE RELOCATED, SEE NEW POWER FLOOR PLAN FOR NEW LOCATION AND REQUIREMENTS.
- 2

EXISTING DEVICE TO BE DEMOLISHED. REMOVE ALL COMPONENTS AND BRANCH CIRCUITS TO THE NEAREST JUNCTION BOX OR NEXT DEVICE, MAINTAINING POWER TO OTHER DEVICES REMAINING IN SERVICE.
- 3

ALL LIGHTING IN THIS ROOM TO BE DEMOLISHED. REMOVE ALL COMPONENTS AND BRANCH CIRCUITS TO THE NEXT JUNCTION BOX OR DEVICE REMAINING IN SERVICE.

- GENERAL NOTES
1.

ALL EXISTING BRANCH CIRCUIT, ELECTRICAL EQUIPMENT, ETC. WERE TAKEN FROM EXISTING AVAILABLE RECORD DRAWINGS AND FIELD OBSERVATIONS. CONTRACTOR TO VERIFY EXACT CONDITIONS IN FIELD.
2.

MAINTAIN INTEGRITY OF EXISTING ELECTRICAL AND BUILDING SYSTEMS ETC. SERVING ADJACENT SPACES IN AREAS OF NEW CONSTRUCTION.
3.

WHERE WORK IMPACTS EXISTING CEILING, WALL, OR FLOOR FINISHES OR BUILDING COMPONENTS, CONTRACTOR TO PATCH TO MATCH ADJACENT SURFACES.
4.

CONTRACTOR TO VERIFY EXACT CONDITIONS IN THE FIELD.
5.

COORDINATE EXACT LOCATION OF ALL AIR INLETS AND OUTLETS WITH ARCHITECTURAL DRAWINGS. CONTRACTOR TO VERIFY EXACT CONDITIONS IN THE FIELD.

SERA

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REGISTERED PROFESSIONAL  
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NOV. 15, 2019  
P17100 ALZANA

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ISSUE DATE: 17 FEB 2023  
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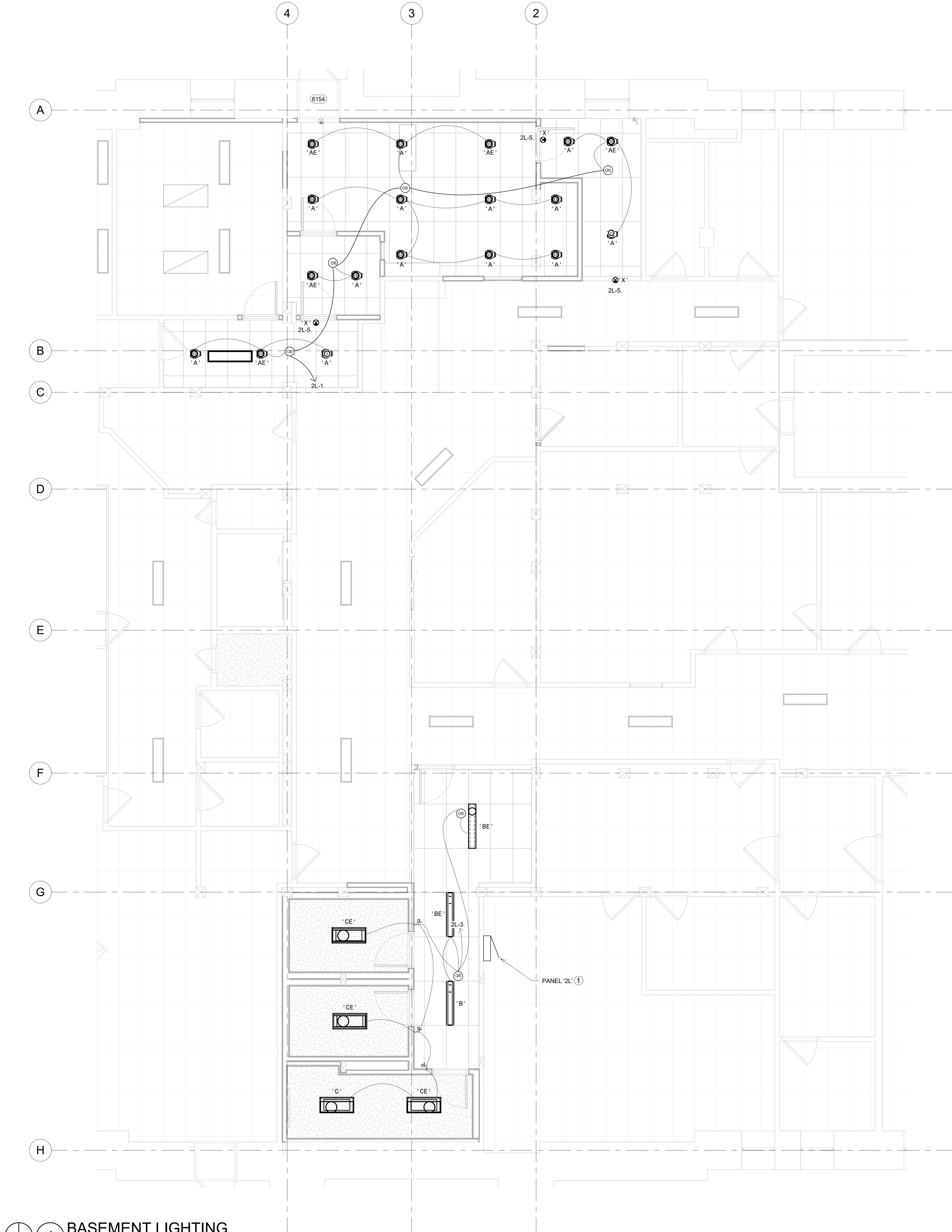
BASEMENT  
POWER  
DEMOLITION  
PLAN

ED200

BID SET



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NOTES THIS SHEET

- ① COORDINATE EXACT PANEL LOCATION WITH OWNER PRIOR TO ROUGH-IN.



ARCHITECTURE  
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INTERIOR DESIGN

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PROJECT NUMBER: 22-035

Clatsop County Circuit Court Security Improvements

Clatsop County  
749 Commercial St.  
Astoria, OR 97103

REVISIONS	
02/16/2023	

CHECKED BY:	PA
ISSUE DATE:	17 FEB 2023
PROJECT NO:	2101028-2

BASEMENT  
LIGHTING PLAN  
**E100**

BID SET



# Clatsop County Circuit Court Security Improvements

**Clatsop County**  
749 Commercial St.  
Astoria, OR 97103

## REVISIONS

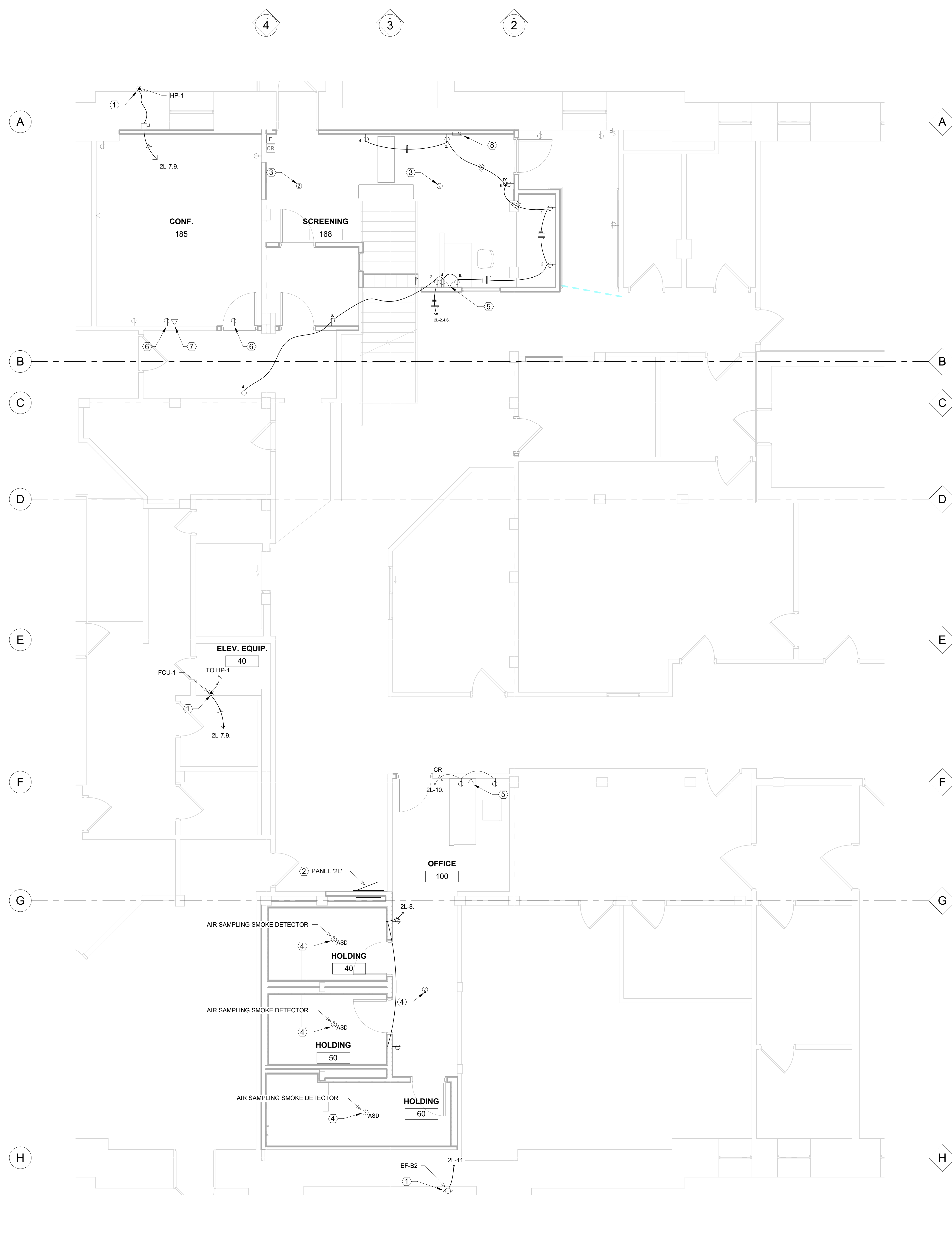
02/16/2023

CHECKED BY: PA  
ISSUE DATE: 17 FEB 2023  
PROJECT NO: 2101028-2

## BASEMENT POWER PLAN

# E200

## BID SET



## NOTES THIS SHEET

- ① MECHANICAL EQUIPMENT CONNECTION. COORDINATE EXACT LOCATION, LOAD AND CONNECTION REQUIREMENTS WITH THE MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN. SEE MECHANICAL EQUIPMENT AND PANEL SCHEDULES FOR BRANCH CIRCUIT REQUIREMENTS.
- ② SEE ONE LINE POWER RISER DIAGRAM FOR NEW PANEL FEEDER INFORMATION.
- ③ RELOCATED FIRE ALARM DEVICE. RECONNECT TO EXISTING FIRE ALARM PANEL AND PROVIDE NEW CONDUCTORS IF EXISTING CONDUCTORS LENGTH IS INSUFFICIENT. DO NOT SPICE ANY FIRE ALARM CONDUCTORS.
- ④ NEW FIRE ALARM DEVICE. CONNECT COMPLETE TO EXISTING FIRE ALARM PANEL.
- ⑤ ROUT DATA CONDUCTOR TO THE SERVER ROOM . COORDINATE WITH THE OWNER FOR CABLE REQUIREMENTS AND EXACT LOCATION PRIOR TO ROUGH-IN.
- ⑥ RELOCATED RECEPTACLE. EXTEND EXISTING BRANCH CIRCUIT TO NEW LOCATION SHOWN AND CONNECT COMPLETE.
- ⑦ RELOCATED DATA CONNECTION. EXTEND EXISTING CONDUCTORS TO THIS NEW LOCATION IF LENGTHS PERMIT. OTHERWISE, PROVIDE NEW CONDUCTORS FROM THIS LOCATION TO THE SERVER ROOM. DATA CONDUCTOR SHALL NOT BE SPICED.
- ⑧ PROVIDE ONE (1) 4" x 4" x 4" DEEP BOX WITH ONE (1) 1" CONDUIT. STUB-UP TO THE CEILING SPACE FOR FUTURE DATA CONNECTIONS. MOUNT BOX AT 36-INCH AFF.

## GENERAL NOTES

1. ALL EXISTING BRANCH CIRCUIT, ELECTRICAL EQUIPMENT, ETC. WERE TAKEN FROM EXISTING AVAILABLE RECORD DRAWINGS AND FIELD OBSERVATIONS. CONTRACTOR TO VERIFY EXACT CONDITIONS IN FIELD.
2. MAINTAIN INTEGRITY OF EXISTING ELECTRICAL AND BUILDING SYSTEMS ETC. SERVING ADJACENT SPACES IN AREAS OF NEW CONSTRUCTION.
3. WHERE WORK IMPACTS EXISTING CEILING, WALL, OR FLOOR FINISHES OR BUILDING COMPONENTS, CONTRACTOR TO PATCH TO MATCH ADJACENT SURFACES.
4. CONTRACTOR TO VERIFY EXACT CONDITIONS IN THE FIELD.
5. COORDINATE EXACT LOCATION OF ALL AIR INLETS AND OUTLETS WITH ARCHITECTURAL DRAWINGS. CONTRACTOR TO VERIFY EXACT CONDITIONS IN THE FIELD.

1

## BASEMENT POWER

$1/4'' = 1'-0''$



Clatsop County  
749 Commercial St.  
Astoria, OR 97103



Panel Schedule					Main Breaker: No					Phase: 3 Phase 4 Wire				
Name: Panel L'					Feed Lugs: Yes					ISCR: TBD				
Job No.: 22-035														
Phase Voltage: 120					Line-Line Voltage: 208									
Bus Amperage: 100														
Ckt No.	Item	CBA	POLE	PHASE LOADS VA	Ckt No.	Item	CBA	POLE	PHASE LOADS VA					
		A	B	C			A	B	C					
1	Lighting	20	1	293	2	Receptacles	20	1	700					
3	Lighting	20	1	364	4	Receptacles	20	1	700					
5	Exit Signs	20	1	50	6	Receptacles	20	1	700					
7	Heat Pump HP-1	30	2	1,716	8	Receptacles	20	1	600					
9	Heat Pump HP-1			1,716	10	Receptacles	20	1	600					
11	Exhaust Fan EF-1	20	1		12	Spare	20	1	0					
13	Spare	20	1	0	14	Spare	20	1	0					
15	Spare	20	1	0	16	Spare	20	1	0					
17	Spare	20	1	0	18	Spare	20	1	0					
19	Spare	20	1	0	20	Spare	20	1	0					
21	Spare	20	1	0	22	Spare	20	1	0					
23	Spare	20	1	0	24	Spare	20	1	0					
25	Spare	20	1	0	26	Spare	20	1	0					
27	Spare	20	1	0	28	Spare	20	1	0					
29	Spare	20	1	0	30	Spare	20	1	0					

A	B	C	
3,309	3,380	600	Total Phase Loads VA
28	28	7	Total Phase Loads Line Current
		7,489	Total VA

LIGHTING FIXTURE SCHEDULE	
TYPE	DESCRIPTION
A	RECESSED MOUNTED DOWNLIGHT FIXTURE, 8-INCH SIZE, 17.5 WATTS LED, 1,500 LUMENS, 3000K, 80 CRI MIN, 120-277V, GALVANIZED STEEL CONSTRUCTION, DOWNLIGHT APERTURE, CLEAR TRIM COLOR, SEMI-SPECULAR FINISH, 0-10V dimmable DRIVER WITH SMOOTH FLICKER FREE DEEP DIMMING PERFORMANCE DOWN TO 10%, LITHONIA: LDN6 30/15 L06AR LSS MVOLT E210 OR APPROVED.
AE	TYPE A FIXTURE WITH EMERGENCY BATTERY PACK AND SELF-DIAGNOSTICS, INTEGRAL TEST SWITCH, 10 WATT CONSTANT POWER, LITHONIA: LDN6 30/15 L06AR LSS MVOLT E210 ELSD OR APPROVED.
B	ACT MOUNTED WRAP FIXTURE, 4-FOOT LENGTH, 40 WATTS LED, 4,800 LUMENS, 3000K, 82 CRI, 120-277V, DIE-FORMED CONSTRUCTION, PRE-PAINT WHITE FINISH, ACRYLIC SQUARE/SMOOTH LENS/DIFFUSER, dimmable DIMS TO 1% (0-10V DIMMING) DRIVER, PROVIDE CADDY CLIPS BY OTHERS TO MOUNT FIXTURE TO ACT T-BAR, LITHONIA: BLWP4 48L SDSM E21 LP830 OR APPROVED.
BE	TYPE B FIXTURE WITH A 10 WATT CONSTANT POWER, SELF-DIAGNOSTIC EMERGENCY BATTERY PACK, LITHONIA: BLWP4 48L SDSM E21 LP830 E10WLCP OR APPROVED.
C	SURFACE MOUNTED HIGH SECURITY CONFINEMENT FIXTURE, 17 X 37-INCH SIZE, 50 WATTS LED, 5,597 LUMENS, 3000K, 80 CRI, 120-277V, 12-GAUGE STAINLESS STEEL HOUSING, ALL CORNERS AND SEAMS CONTINUOUSLY WELDED SMOOTH, HINGE DESIGN PROTECTS FROM UNAUTHORIZED FIXTURE ENTRY, .125" CLEAR POLYCARBONATE LAMP SIDE LENS, .125" CLEAR POLYCARBONATE ENVIRONMENTAL SIDE LENS, NON-DIMMING DRIVER, SEE ARCHITECT/OWNER FOR FINISH SELECTION, LUMINAIRE LED: SMP S23 H12SSB NODIM 50W 30K MVOLT CLS 1ES XXX OR APPROVED.
CE	TYPE C FIXTURE WITH SELF TESTING, SEAL CONTAINED, 90 MINUTE EMERGENCY BATTERY PACK, 1000 LUMEN OUTPUT, LUMINAIRE LED: SMP S23 H12SSB NODIM 50W 30K MVOLT CLS 1ES XXX EMB10ST OR APPROVED.
X	WALL MOUNTED EMERGENCY EXIT SIGN, THERMOPLASTIC HOUSING, UNIVERSAL MOUNTING & CHEVRONS, PROVIDE RED EXIT LETTERING TO MATCH EXISTING, PROVIDE NI-CAD BATTERY OPTION, 120/277V, LITHONIA: LQM S W 3 R 120/277 EL N M6 OR APPROVED.
NOTE:	CONFIRM ALL FINAL LIGHTING WITH ARCHITECT/OWNER PRIOR TO FINAL ORDER.